

Heritage Hunt HOA
6901 Arthur Hills Drive
Gainesville, VA 20155



DESIGN GUIDELINES

**A HANDBOOK FOR HERITAGE HUNT
OWNERS AND RESIDENTS**

Approved at HH HOA Board of Directors Meeting January 23, 2020

Preface

These design guidelines have been established and published in accordance with the proffers and the Declaration of Covenants, Conditions, and Restrictions and Reservation of Easements for the Heritage Hunt Homeowners Association, Inc. The primary purpose of Design Guidelines is to maintain environmental and architectural design standards for the entire community and to maintain consistency with the “Colonial” design concept for the community as stated in the proffers.

No matter how minor the change may be, all changes, permanent or temporary, to the exterior appearance of a home or to a lot are subject to review and approval by the Architectural Review Committee (formerly the Covenants Committee).

Unless these Design Guidelines specifically state that a **Design Review Application (DRA)** is not required, owners are required to submit a **DRA** to the Architectural Review Committee (ARC) for approval for all proposed exterior additions, changes or alterations to a house and all changes to a lot. In all cases, whether a **DRA** is required or not, owners must adhere to the criteria set forth in these Design Guidelines when making a change to the exterior of their home or to their lot.

If there is any doubt whether or not a proposed change to the exterior of a house or to a lot or installation of landscaping or other feature on a lot requires the submission of a **DRA**, owners should seek clarification from the ARC before proceeding with the change or submit a **DRA** to the Committee with supporting documentation as outlined herein.

As stated in the Declaration, each owner or resident shall at all times keep their premises, buildings, improvements, and appurtenances in a safe, clean, neat and sanitary condition. Appropriate maintenance shall include, but not be limited to, the seeding, weeding, watering, and mowing of all lawns, the pruning and cutting of all trees and shrubbery and the painting (or other appropriate external care) of all buildings and other improvements all in a manner and with such frequency as is consistent with good property management. All owners of lots on which storm water management or storm drainage easements exist must keep such areas free of debris so as not to impede drainage. The owner or resident shall comply with all laws, ordinances, and regulations pertaining to health, safety, and pollution, and shall provide for storage and removal of trash and rubbish from their premises.

These guidelines apply equally to all lots and houses regardless of their location and their orientation to woods, common areas, or property outside the confines of Heritage Hunt. As stated in Appendix I, golf course lots have additional restrictions that are not applicable to other lots and houses.

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I. GENERAL

A. APPLICABILITY:

These guidelines apply to the land and improvements thereon owned by owners of single-family, villa and carriage homes at Heritage Hunt to include, but not limited to, the exterior of homes, driveways, sidewalks, porches, decks, patios, and landscaping. The land owned by owners of single-family, villa, and carriage homes is defined by a Plat Plan and legal description on the deed.

Owners are required to submit a **Design Review Application (DRA)** to the Architectural Review Committee for approval for all proposed exterior additions, changes or alterations to a house and changes to a lot, except where these Design Guidelines state that a **DRA** is not required provided specific criteria are adhered to.

All changes, permanent or temporary, to the exterior appearance of a condo building or lot by a Condominium Association or a unit owner/resident are subject to review and approval by the HH HOA Architectural Review Committee. If a Condominium Association or unit owner/resident wishes to make exterior modifications, the proposed modifications must first be approved by the condominium's Board of Directors (BOD) in accordance with their condominium's rules and regulations. The condominium BOD must then seek approval of the changes from the HH HOA ARC. Condominium residents seeking to start a Home Occupation Business should review their Condominium Association Rules and Regulations, Policy Resolution #14, and the section "Businesses in Dwelling Units" below.

These guidelines do not apply to Heritage Hunt Homeowners Association, Inc. facilities or common areas. This includes ingress/egress and utility easement areas owned by the HOA. See the discussion of ingress/egress and utility easement areas below. However, the HOA should maintain its facilities and common areas in accordance with the property maintenance standards outlined below for single family units and lots. All issues associated with common areas should be addressed to the Grounds Committee. All issues associated with facilities should be addressed to the Facilities Committee.

B. PURPOSE OF THE HANDBOOK:

The promulgation and enforcement of design standards is intended to achieve the following objectives:

- Maintain consistency with the overall Colonial design concept for the community as established by the developer and set forth in the proffers.
- Promote harmonious architectural and environmental design qualities and features; and
- Promote and enhance the visual and aesthetic appearance of the community.

The enforcement of maintenance and design standards not only enhances the physical appearance of the community but also protects and preserves property values.

Another purpose of this handbook is to familiarize owners and residents at Heritage Hunt with the objectives, scope and application of design standards and guidelines. These guidelines are intended, and shall be employed, to maintain the aesthetic appearance and environmental quality of the Heritage Hunt community.

This handbook enumerates maintenance and design standards and guidelines, which have been adopted by the Board of Directors of the Heritage Hunt Homeowners Association. It also explains the application and review process that must be adhered to by owners seeking approval for any exterior modifications to their homes or lots. Owners who would like to make an exterior modification to a home or to a lot or landscaping that is not discussed or permitted in these

guidelines, should submit a **Design Review Application**, included in these Design Guidelines at Appendix III, to the ARC for review.

C. INGRESS/EGRESS AND UTILITY EASEMENT AREAS:

An ingress/egress and utility easement area exists in front of single-family, villa, and carriage homes at Heritage Hunt. These ingress/egress easement areas are defined on the Plat Plan of each home. These ingress/egress easement areas are part of the Common Facilities or Common Areas of the Heritage Hunt Community as defined in section 1.8, Article 1, Definitions, of the Amended and Restated Declaration of Covenants, Conditions, Restrictions, and Reservation of Easements, Heritage Hunt Homeowners Association, Inc., dated March 13, 2015.

The ingress/egress area in front of single-family, villa, and carriage homes, begins at the centerline of the street and extends toward each dwelling. The boundary of the easement that is closest to the dwelling is defined usually by the expansion joint between the driveway apron and the remainder of the driveway as indicated by the arrow in the figures below. Pedestrian sidewalks, the grass area between sidewalks and the curb, curbs, and streets are Association owned.



In general, ingress/egress and utility easement areas begin at the center of the street and extend to the expansion joint between the driveway apron and the remainder of the driveway.

Owners/residents should report problems and deficiencies regarding streets, curbs, storm sewer drain inlets, driveway aprons, sidewalks, fire hydrants, and permanent signs to the Homeowners Association Managing Agent by email or letter.

The Heritage Hunt Homeowners Association, Inc. is responsible for the fertilization, maintenance, trimming, removal, and if appropriate, replacement of trees or other plants in ingress/egress and utility easement areas owned by the HOA. Owners / residents should report problems and deficiencies to the HOA Managing Agent via email or letter. The HOA is not responsible for the fertilization, maintenance, trimming, removal, or replacement of trees or other plants located within homeowner lots.

Owners / residents must maintain mailboxes and posts. Refer to the sections below regarding Mailboxes and Posts.

Owners / residents are responsible for fertilization, weed control, and mowing of grass between sidewalks and curbs where sidewalks abut their building lots. Owners / residents are also responsible for removing leaves and debris from this area.

Owners / residents are responsible for fertilization, weed control, and mowing of grass all the way to the curb in ingress/egress areas abutting their building lot where sidewalks do not exist. Owners / residents are also responsible for removing leaves and debris from this area.

D. ROLE OF THE ARCHITECTURAL REVIEW COMMITTEE RELATIVE TO THESE GUIDELINES:

As outlined in Policy Resolution #5 “Design Review Procedures and Guidelines” and Administrative Resolution #4 “Architectural Review Committee Charter”, in implementing these Design Guidelines the Architectural Review Committee shall:

1. Approve applications submitted by single-family homeowners to make changes to the exterior of homes and to lots. This includes approving applications with stipulations designed to ensure that the completed change will meet the architectural standards set forth in these Design Guidelines.
2. Place on hold applications submitted by single-family homeowners that are incomplete or where the proposed changes are not fully understood. Applications shall remain on hold until all required submissions have been provided or the lack of understanding is resolved.
3. Deny any part of an application where the proposed change is not consistent with the architectural standards of these Design Guidelines. These denial actions are considered final; however, the Committee may hear an applicant’s appeal if the applicant submits new information not previously submitted. Applicants may also appeal denials to the Board of Directors. See the appeals procedure below.
4. As determined by the Board of Directors at its August 28, 2014 meeting, and by its Charter, the ARC, may approve or disapprove minor deviations from the criteria set forth in these guidelines.
5. As stated in Administrative Resolution #4 “Architectural Review Committee Charter”, the Committee shall also approve or disapprove all Home Employment Business applications, as outlined in Policy Resolution #14 “Standards for Businesses in Dwelling Units”.

E. APPLICATION AND REVIEW PROCEDURES (Also See Policy Resolution # 5):

All changes, permanent or temporary, to the exterior appearance of a home or lot are subject to review and approval by the ARC. The review process is not limited to major additions or alterations, such as adding a room, deck, or patio. It includes such minor items as changes in color and materials. Approval may also be required when an existing item is to be removed or changed. See the specific guidelines below.

If there is any doubt whether or not a proposed exterior change requires the submission of a **Design Review Application**, owners should seek clarification from the ARC or Covenants Administrator (CA) before proceeding with the change or submit a **DRA**.

Design Review Application review procedures used by the ARC regarding exterior changes to homes or lots are detailed below:

1. **Design Review Applications:** All applications for a proposed change must be submitted using the **Design Review Application** form included in Appendix III.

Design Review Applications (**DRAs**) must be complete in order to commence the review process. It is the owner’s responsibility to review and ensure the presence and completeness of all application supporting documents before submission. Incomplete applications may be returned to the applicant with a statement of deficiencies that must be remedied in order to be considered for

review. When possible, a member of the ARC will meet and review the application onsite with the owner prior to action on the application by the full Committee. This is done to ensure that all aspects of the proposed project are fully documented and understood.

Unless notified to the contrary, owners should submit applications to the following address:

Mail To:

Covenants Administrator
Heritage Hunt Homeowners Association
6901 Arthur Hills Drive
Gainesville, VA 20155

Hand Deliver To:

Covenants Administrator
Marsh Mansion, Second Floor
13451 Fieldstone Way
Gainesville, VA 20155

Supporting Documentation: The Design Review Application must include a complete and accurate description of the proposed improvement(s). In order to permit evaluation by the Architectural Review Committee, supporting exhibits will be required and should include:

- A site plan (plat) showing the location and dimensions of the proposed improvement
- Elevation drawings for porches, decks, and sunrooms
- Architectural drawings or plans, as applicable
- Landscape plan showing dimensions of beds and the height and width of plants upon maturity
- Material and/or color samples, etc.
- Photographs, catalog illustrations

The Design Guidelines and application form provide guidance with respect to the supporting documentation required for various types of improvements.

Site (plat) plans are available from one of the following land surveyors who surveyed the various sections of Heritage Hunt.

Christopher Consultants Limited
9417 Innovation Drive
Manassas, VA 20110
Ph #703-393-9887

William H. Gordon Associates, Inc.
4501 Daly Drive Suite 200
Chantilly, VA 20151
Ph #703-263-1900

B.W. Smith Associates
9255 Corporate Circle
Manassas, VA 20110
Ph #703-368-5866

3. **Review of Applications:** The Architectural Review Committee meets the 2nd and 4th Wednesday of each month January through October and the 2nd Wednesday only in the months of November and December to review applications. Design Review Applications are due to the Covenants Administrator in the Heritage Hunt Homeowners Association office located on the second floor of the Marsh Mansion by 12:00 p.m. (noon) the Monday which is 9 days in advance of the next scheduled ARC meeting.
4. **Notice of Approval/Disapproval:** Owners who have submitted Design Review Applications will be given written notice of the decision of the ARC by the Covenants Administrator within approximately 15 days after the decision. Applicants may also receive unofficial notices by telephone or email from a member of the Committee.
5. **Review of Completed Projects:** As stated in the Design Review Application, there shall be no deviations from the plans, specifications, and location approved by the ARC without prior written consent of the ARC. Any variation from the plans, specifications, and location approved by the ARC must be submitted to the ARC for approval. The Covenants

Administrator may perform an onsite review of a project when the work has been completed where a “post completion inspection” has been stipulated as part of the ARC’s approval of the application.

If the completed work has not been performed in accordance with the plans, specifications, and location approved by the ARC, the Covenants Administrator will issue a violation letter in accordance with Policy Resolution #4 “Enforcement”.

6. Appeals Procedure: Applicants may appeal non-favorable decisions of the ARC regarding Design Review Applications. See below.

Option 1: If the ARC approves an application with stipulations or denies some part or all of an application, the applicant may submit an appeal within 10 days following receipt of the written decision, along with any additional information, to the ARC for reconsideration. Appeals may be made via email or written letter to the Covenants Administrator. Written appeals should be hand delivered or mailed to the Covenants Administrator at the following address. Emails should be sent to the email address found in the Resident Directory.

Mail To:

Covenants Administrator
Heritage Hunt Homeowners Association
6901 Arthur Hills Drive
Gainesville, VA 20155

Hand Deliver To:

Covenants Administrator
Marsh Mansion, Second Floor
13451 Fieldstone Way
Gainesville, VA 20155

Option 2: Alternatively, applicants have the option of appealing a decision by the ARC directly to the Board of Directors. An appeal of an ARC decision must be submitted in writing to the Board of Directors within 10 days following the receipt of the written decision of an action by the ARC. This appeal should include any new or additional information that may clarify the requested change or demonstrate its acceptability. The procedures and format for submitting appeals to the Board are outlined in Policy Resolution #5 “Design Review Procedures and Guidelines.”

F. ENFORCEMENT PROCEDURES:

Procedures related to enforcement of these Design Guidelines are outlined in Policy Resolution #4 “Enforcement”. Owners / residents may appeal some part of or all of enforcement (violation) letters received from the Managing Agent or Covenants Administrator by sending a letter or email to the Covenants Administrator outlining what is being appealed and why. Additional procedures for appealing enforcement letters received from the Covenants Administrator are found in Policy Resolution #4.

Enforcement of the maintenance and design standards set forth in this document is accomplished through the Managing Agent and the Managing Agent’s Covenants Administrator and not the ARC. Members of the ARC do not conduct inspections of the exterior of homes and lots and do not participate in the annual home inspection carried out by the Covenants Administrator. When asked, the ARC does provide guidance to the CA regarding potential violations.

G. PROPERTY MAINTENANCE STANDARDS:

General: As stated in section 6.15 of the Declaration of Covenants, Conditions, Restrictions, and Reservation of Easements (Declaration), each owner or resident shall at all times keep his or her premises, buildings, improvements, landscaping, and appurtenances in a safe, clean, neat, and sanitary condition, including pet waste. Appropriate maintenance shall include, but not be limited to, the seeding, weeding, watering, and mowing of all lawns, the pruning and cutting of all trees and shrubbery, and the painting or other external care of all buildings and other improvements all in a manner and with such frequency as is consistent with good property

management. All owners of lots on which storm water management or storm drainage easements exist must keep such areas free from debris so as to not impede drainage. Each Owner or Resident shall comply with all laws, ordinances, and regulations pertaining to health, safety, and pollution, and shall provide for storage and removal of trash and rubbish from his or her premises.

As stated in section 6.16 of the Declaration, if an Owner or Resident does not maintain and repair their Lot or Dwelling Unit in accordance with the Declaration, Design Guidelines, or other applicable rules and regulations, the Association, (acting through its authorized agents or contractors) shall have the right (after at least 10 days notice to the Owner of any Lot involved, setting forth the maintenance or repair action to be taken, and if at the end of such time, reasonable steps to accomplish such action have not been taken by the Owner or Resident) to do any and all maintenance and repair work reasonably necessary in the written opinion of the Board of Directors to bring the Lot or Dwelling Unit into compliance, with the costs of such work being assessed against the responsible Owner and Lot. However, no such work shall be undertaken by the Association without prior approval of the Board of Directors.

The Association (acting through its authorized agents or contractors) shall further have the right (upon like notice and conditions) to cause to have trimmed or pruned, at the expense of the Owner or Residents, any hedge, tree, or other planting that by reasons of its location on the Lot, or the height to or manner in which it is permitted to grow, is detrimental to the adjoining Lots or contrary to Design Guidelines.

1. All portions of a lot that are not improved by an impervious surface or a structure must be maintained with grass or other vegetation installed by the builder or approved by the ARC, as required. No bare earth may be exposed on a lot, except for landscaping beds and gardens without appropriate approvals. Landscaping beds should be mulched.
2. All turf areas on a lot must be kept neatly mowed during the growing season. Grass should not be permitted to exceed 6 inches in height. It is highly recommended that sidewalks and driveways be edged at least twice a month during mowing season.
3. Turf areas, including but not limited to, the area between curbs and sidewalks, and other vegetation should be watered during dry periods except in cases of a declared drought restriction by Prince William County. Any dead plants, shrubs or trees should be removed immediately. This includes removing dead vegetation from trellises, landscaping, vegetable gardens, and arbors at the end of each growing season.
4. Turf areas should be kept as free as possible of warm-weather grasses and weeds as defined by m and n in the Definitions section below and Policy Resolution #19. Building Lots are considered to be divided into the following four areas – Front Yard (Front Plane), which includes the area between the curb and sidewalk, left Side Yard (Left Plane), right Side Yard (Right Plane), and rear Yard (Rear Plane). At no time should warm-weather grasses or weeds cover more than 25% of the total turfed area in any one of these four yard areas. Landscaping and garden areas should also be kept as weed free as possible.
5. In accordance with Policy Resolution #19, any Owner of a Lot which, as of January 25, 2018, has any of the warm season grass types defined in DEFINITION section m above planted, installed, sodded or used on their Lot shall manage the grass on their Lot and take all necessary steps to prevent any invasion, infiltration, or infestation of their warm season grass into or onto neighboring or adjacent Lots or common areas. Any violation shall be subject to the Association's enforcement powers, including but not limited to the assessment of violation charges, or the suspension of use of Community Facilities, abatement of the violation by the Association at the expense of the violating Lot Owner, and/or the filing of a lawsuit.
6. No trash or debris may accumulate or be stored in a visible location on a lot. Construction, and other materials required for the improvement of a home or lot should be stored neatly in as

unobtrusive a location on the lot as possible when not in use. All trash/recyclable receptacles shall be removed from the streets, walkways, or exterior portions of the lots following pickup on the day of the scheduled trash removal (Policy Resolution #8).

7. Pet waste may not accumulate or be stored in a visible location on a lot. Pet waste must be removed from a lot on a regular basis, not to exceed weekly.
8. All hedges, trees, shrubs, and plants must be kept pruned so they do not encroach on neighboring properties or encroach on common areas. They also must be neatly trimmed and maintained and their size must be maintained in proportion to the lot and home. Spacing between trees and shrubs and the height of hedges must be maintained in accordance with the guidelines below.
9. The exterior of a home and lot must be maintained in an attractive manner.
 - No significant blistering or peeling of exterior painted surfaces is permitted.
 - Any exterior building components (e.g., siding, gutters and downspouts, roof shingles, windows, doors, window and door trim, foundations, stairwells, railings, patios, etc.), which are missing, stained, broken, rotting, or otherwise in a state of disrepair, must be repaired as quickly as possible.
 - Roof shingles should be kept free of algae. (See "ROOFS and SHINGLES")
 - Hoses should be rolled up on a reel or hidden from view when not in use.
 - Mailboxes and posts must be maintained. (See "MAILBOXES AND POSTS")
 - Because exterior post lamps assist in community appearance and safety, they shall not be removed or turned off during hours of darkness; they shall be maintained in good working order. Burnt-out bulbs shall be promptly replaced. If the post lamp has been converted to a manual switch, it shall be turned on at dusk.
 - All walkways and stairways within the property lines must be maintained in good repair and free of stains, algae, and peeling paint.
 - Where driveways are adjacent to a street or cul-de-sac, they must be maintained in good repair and free of stains, algae, and peeling paint or coatings to the point where the driveway intersects the HOA owned apron. If the HOA owned walkway and driveway apron abutting the driveway have been coated or painted by the homeowner, the homeowner must maintain the coating or paint on the walkway and driveway apron in good condition.
 - Where driveways are adjacent to a pipe stem, they must be maintained in good repair and free of stains, algae, and peeling paint or coatings to the point where the driveway intersects the pipe stem.
 - Maintenance of streets, curbs, gutters, pipe stems, pedestrian walkways, and driveway aprons is the responsibility of the HOA. Deficiencies should be reported to the HOA Manager or HOA Assistant Manager. If homeowners wish to clean pedestrian walkways, driveway aprons, curbs, and gutters abutting their property, they may do so.
10. Decks, Porches, Patios, Fences, Arbors, Pergolas and Decorative Objects must be maintained in good condition at all times. (See "DECKS, PORCHES, PATIOS, FENCES, ARBORS, PERGOLAS and DECORATIVE OBJECTS").

II. ARCHITECTURAL DESIGN GUIDELINES:

General:

The architectural character of all Lots and Dwelling Units (Living Units, Homes, Houses), as defined below, or alterations, additions, or improvements thereof (other than interior alterations not affecting the external appearance of the dwelling unit) when visually related to each other and the surrounding homes and the natural environment shall be, in the opinion of the ARC, harmonious in terms of type, size, scale, form, color and material.

No dwelling unit shall be painted, stuccoed or surfaced with any material unless and until it is approved in writing by the ARC, except as otherwise provided herein. No improvements, alterations, repairs,

change of paint colors, excavations, changes in grade or other work which in any way alters any Lot or the exterior of any Dwelling Unit, shall be made or done without the prior written approval of the ARC. No structure (permanent or temporary) shall be commenced, erected, maintained, improved, altered, made or done on such property without the prior written approval of the ARC.

All alterations, additions or improvements should be completed within six (6) months of approval by the ARC. Except as noted herein, all solar panels and other solar collection devices are prohibited unless authorized in writing by the Board of Directors.

Approval by the ARC of modifications to lots or exterior modifications to dwelling units shall in no way be construed as to pass judgment on the correctness of the location relative to Prince William County (PWC) zoning setback requirements, PWC and other structural design requirements, suitability of water flow or drainage, location of utilities, or other features of proposed change being reviewed. Approval by the Committee simply passes judgment for the Heritage Hunt Homeowners Association, Inc. that the proposed change is consistent with the architectural guidelines set forth below and meets the objectives set forth in Section I. GENERAL, B. PURPOSE OF THE HANDBOOK.

It is the owner's responsibility to see that the appropriate County permits are obtained and to contact the proper authorities concerning easements shown on plats before making any exterior modifications to homes or lots. PWC Zoning has stated to members of the Board and the ARC that all decks, porches, sunrooms, patios, fences, retaining walls, and other accessory structures, as defined below, require zoning permits and may require other permits.

No improvement of any type may negatively impact physical properties or drainage on neighboring lots or common area. In the event that a neighboring property or common area is negatively impacted, the owner who made the improvement shall bear full responsibility for correcting the problems.

As stated in the Declaration of Covenants, Conditions, Restrictions, and Reservation of Easements,

- No water pipe, gas pipe, sewer pipe, drainage pipe, or industrial process pipe, except hoses and moveable piping used for irrigation purposes, shall be installed or maintained on any Lot above the surface of the ground. The exceptions to this prohibition are the backflow prevention device required for all irrigation systems, short runs of pipe (less than 4 feet) associated with sump pumps and A/C condensate lines, and short runs of pipe (less than 6 feet) attached to gutter downspouts.
- No facility, including but not limited to, poles wires and conduits for transmission of electricity, telephone messages and the like shall be placed and maintained above the surface of the ground on any Lot. Except as allowed by the Federal Communication Commission's *Telecommunications Act of 1966* and the *Over-the-Air Reception Devices Rule*, the Association's Design Guidelines and all other applicable Federal and local laws and regulations, no external or outside antennas of any kind, no matter how disguised, shall be maintained.

DEFINITIONS:

- a) Front Plane of the House:** The front plane of the house is the side of the house where the vehicle garage door is located. This applies regardless of whether the door where guests are received is in the side plane of the house.
- b) Side Plane of the House:** The side plane of the house is at 90 degrees to the front of the house. The side plane of a house does not include bay windows or other bump-outs. Some homes have the main entry door located in the side plane of the house.

- c) **Rear Plane of the House:** The rear plane of the house is parallel to the front plane. Depending on the style of the house, the rear plane may not be a straight line. The rear plane of the house does not include bay windows and other small bump-outs.
- d) **Lot:** Shall mean and refer to any plot of land shown upon any recorded subdivision map of the Property (Heritage Hunt) which has been subjected to the Amended and Restated Declaration of Covenants, Restrictions, and Reservation of Easements of the Heritage Hunt Homeowners Association, Inc. or subsequent Declarations upon which a Dwelling Unit(s) could be constructed in accordance with Prince William County zoning ordinances and to each condominium unit on the Property created in accordance with the applicable laws of Virginia in effect from time to time. "Lot" shall not mean and refer to Community Facilities. In simple terms, this is the ground your dwelling unit or home is constructed upon and whose limits are defined by a deed and plat.
- e) **Dwelling Unit (Living Unit, Home, or House):** Shall mean any portion of the Property (or Lot as defined above), as improved, intended for any type of independent ownership for use and occupancy as a residence by one household and shall, unless otherwise specified, include within its meaning (by way of illustration, but not limitation) for these Design Guidelines townhouses, triplex units, and single family attached and detached homes , as may be used and defined as herein provided or as provided in the Amended and Restated Declaration of Covenants, Restrictions, and Reservation of Easements of the Heritage Hunt Homeowners Association, Inc. and subsequent Declarations covering all or part of the Property. In simple terms, attached or detached single family homes.
- f) **Attached Dwelling Unit (Home or House):** Shall mean a unit or home that shares a common wall or walls with another unit or home. Examples of attached dwelling units include villas, duplexes, townhomes, and row houses.
- g) **Accessory structure:** Shall mean a subordinate structure located on the same lot as the principal use structure and the use of which is customarily associated with and incidental to the principal use structure.

Note: PWC states that accessory structures include, but are not limited to, the following: free standing antennas, in ground swimming pools, decks, porches, sunrooms, patios, fences, retaining walls, sheds, garden cabinets, new walkways, driveway / parking area expansions, and landscaping features on corner lots that may obstruct traffic sight lines. PWC also states that all accessory structures require zoning approval and some may require a building permit. PWC states that failure to obtain zoning approval and building permits may result in issues that must be resolved at the time of resale. Owners executing projects are responsible for obtaining required zoning approvals and building permits. ARC approval of projects does not include zoning approval or building permit approval.

- h) **Abutting/adjoining:** Having a common point or border with; having property lines in common.
- i) **Accessory use:** A use incidental to and customarily associated with, the principal use of the home and lot.
- j) **Adjacent:** Shall mean nearby. Property touching at a common point or border shall be deemed to "abut" or "adjoin".
- k) **Alteration:** Shall mean an addition, expansion, change, or modification of a building or structure that is not classified as ordinary repair.

- l) **Cool-Weather Grasses:** As stated in Policy Resolution #19, cool-weather grasses include, but are not limited to, the following types of grasses: 1) Kentucky Blue Grass; 2) Perennial Ryegrass; 3) Tall Fescue Grass; 4) Turf-Type Tall Fescue Grass; 5) Fine Fescue Grass, and 6) Bent Grass. These grass types may be planted, installed, sodded, or used within the Association to include any Lot, common areas, and the golf course.
- m) **Warm-Weather Grasses:** As stated in Policy Resolution #19, warm-weather grasses, include, but are not limited to, the following types of grasses: 1) Bermuda Grass; 2) Zoysia Grass; 3) Bahia Grass; 4) Centipede Grass; 5) Carpet Grass; 6) Kikuyu Grass 7) St. Augustine Grass, and 8) Buffalo Grass. **These grass types are prohibited from being planted, installed, sodded or used within the Association on any Lot, on the common area, or on the golf course.**
- n) **Weeds:** In turf areas, weeds are considered to be any plant other than the Cool-Weather Grasses defined above. In landscaping and garden areas, weeds shall mean but not be limited to the following plants: 1) dandelion; 2) crabgrass; 3) nutsedge (nut grass); 3) ground ivy 4) white clover; 5) purple clover; 6) Dutch clover; 7) chickweed; 8) annual blue grass; 9) broadleaf plantain; 10) slender speedwell; 11) yarrow; 12) daisy weed; 13) creeping thistle; 14) ground ivy; 15) greater plantain; 16) self heal; 17) creeping butter cup; 18) sheep's sorrel; 19) common ragwort; 20) bull thistle; 21) bittersweet nightshade; 22) wild carrot; 23) wild onion; 24) purslane; 25) burdock; 26) foxtail grass; 27) red root pigweed 28) velvet leaf 29) lady's thumb 30) lambs quarters; 31) yellow wood sorrel; 32) and prostrate spurge.
- o) **Storm Water Swale:** A swale is a natural or graded and engineered landscape feature appearing as a linear, shallow, open, channel with gently sloping sides. In Heritage Hunt, swales were created by the developer in accordance with a County approved grading plan. They are used to manage water runoff and take it away from homes and into the County's storm water management system.

Specific Architectural Guidelines:

The Board of Directors has adopted the specific Architectural Design Guidelines detailed below:

ADOPT-A-SPOT / DONATE-A-TREE: Adopt-a-Spot / Donate-a Tree programs are offered by the Grounds Committee and are designed to allow approved tree donations and/or landscape enhancements to Heritage Hunt common areas. An application is required to be submitted to the managing agent. The Grounds Committee is responsible for reviewing and approving or denying all Adopt-a-Spot applications. Applications with required guidelines are available on the HH website, at the main Club House, and at the Marsh Mansion.

AIR CONDITIONING UNITS/HEAT PUMPS: The installation of window or wall air conditioning units or fans is prohibited. However, installation of air-conditioning units that sit inside the home and exhaust hot/warm air through a small exhaust hose mounted in the window as shown in the pictures below are allowed and a **DRA** is not required.



A **DRA** is not required to replace a heat pump or air conditioning unit in the original location. A **DRA** is required if the location is changed, an additional unit is added, or the original pad area is modified in any way. A **DRA** is also required if a concrete pad is poured or a retaining wall is required in order to level the area where the air conditioning unit or heat pump is to be installed. Stone retaining walls are preferred, but other materials may be considered if there is justification. The area inside of a retaining wall may be filled with pavers, gravel, stone up to 2' in diameter, or mulch.

ANTENNAS AND SATELLITE DISHES: Television antennas and MMDS (multichannel, multipoint distribution) antennas and satellite dishes 1 meter in diameter or less are permitted. Submission and approval of a **DRA** is not required prior to installation; however, antennas and satellite dishes are subject to the guidelines below. Satellite dishes larger than 1 meter (39.37 inches) in diameter are prohibited.

1. **Location** - Residents installing television or MMDS antennas or satellite dishes should consider their neighbors and the community's appearance and try to place the device in a location that has no or minimal visibility when the home is viewed from any street or pipe stem. If a device must be installed at roof level, if feasible, it should be situated on the rear side of the roof ridge line. Where ground level devices must be installed, front yard locations should be avoided if possible. Wires/cables should be installed securely and hidden where possible.
2. **Screening** - To the extent possible, ground level satellite dishes and television or MMDS antennas should be screened by landscaping so that they are not visible either from the street / pipe stem or to other lot owners.
3. **Installation** - All television or MMDS antenna or satellite dish wiring shall be installed and maintained in compliance with PWC code and tightly secured to the home in any area where it runs along the exterior of the home. Efforts shall be made to run wiring along trim, under the siding, or through the attic to minimize visual impact.

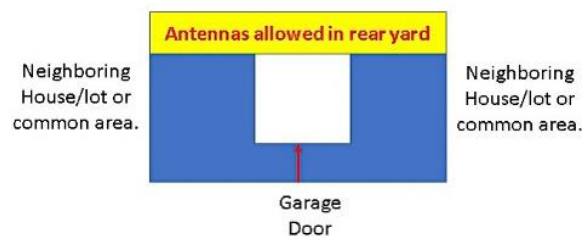
FIXED BASE STATION CITIZEN BAND (CB) ANTENNAS - Fixed Base Station Citizen Band (CB) Antennas must comply with the location, height, quantity, and physical protection requirements of the HAM antennas (see below). Installation of Fixed Base Station CB Antennas requires submission of a **DRA** and approval by the ARC.

AMATEUR RADIO ANTENNAS - Installation of amateur radio antennas requires submission of a **DRA** and approval by the ARC. The **DRA** must include:

1. **Type of Antenna:** Amateur radio antennas are of four main types: wire, loop, vertical, or Yagi. More than one type of antenna may be requested on one **DRA**. Any masts, cables, supports, conduits, wires, fasteners or other accessories necessary for the proper installation, maintenance and use of reception by the antenna shall be considered part of the antenna and be indicated on the plat.
2. **DRA Supporting Documentation:** The **DRA** will be accompanied by a plat outlining the area where the antenna will be emplaced. The area may encompass all locations where the antenna

may be placed to optimize signals. If the area requested is the entire back yard so state. Indicate where supports may be located and the general run of wires and cables.

3. **Easements:** If there is an easement, the DRA applicant is required to get the appropriate permissions from the easement authority. See the section on fencing for examples of the Prince William County authorities. The easement authority approval will be attached to the **DRA**.
4. **Wiring:** All wiring to include rotor or antenna tuner control cables and signal carrying (feed line) cables are to follow current FCC, national electric, and PWC electrical codes.
5. **Placement of the antenna and Support Cables:** Antennas will be placed in the back yard of the house. The rear yard is defined as the end of the house opposite the garage. The area requested should encompass all locations where the antenna may be placed or moved to optimize signals. See the figure below for an example of the area where the antennas may be emplaced.



If the available area or configuration in the rear yard is incompatible with optimum signals, side yard areas may be requested and will be addressed on a case-by-case basis. Support cables may not be placed in a manner that could pose a trip or other hazard. Antennas will not be approved in the front yard.

Neither the antenna nor any support structure or cable shall extend beyond the applicant's property lines unless the applicant can provide written approval from the Grounds Committee to terminate an antenna on Common Areas. Neighbors may not commit to have any part of the antennas on their property.

If the amateur radio operator / DRA applicant desires to place an antenna on a deck or patio the application should so state.

6. **Power Levels:** Power levels and operational considerations shall comply with the Maximum Permissible Exposure (MPE) limits for Uncontrolled Exposure as published by the FCC.
7. **Diameter of Antenna Masts and Poles:** Antenna masts and poles shall not exceed three inches in diameter. This restriction does not apply to the mechanical mounting device holding the mast or pole at its base, or to any integral part of the antenna system that extends away from the mast or pole. For example, vertical antennas usually have, as an integral part of the antenna, loading coils, parallel elements, or short spokes that extend beyond the main vertical element.
8. **Antenna Height:** Antenna wires, other than vertical antennas, shall not be lower than 10' above ground level. The highest level of the antenna support other than a tree will not be visible from the nearest point on the property line of the closest opposing home. If placement of the antenna should be other than the rear yard, this will be evaluated on a case-by-case basis.

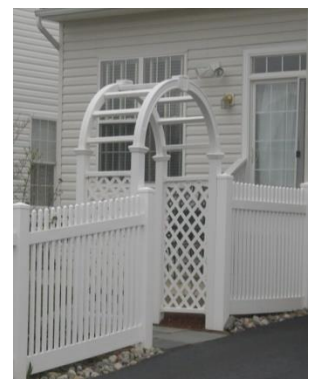
Vertical antennas will not be visible from the nearest point on the property line of the closest opposing home. If placement of the antenna should be other than the rear yard, this will be evaluated on a case-by-case basis.

9. **Ground mounted antennas:** Ground level access must be protected to ensure that persons and animals cannot inadvertently touch a bare metal radiating part of the antenna. In no case shall an antenna mounted at ground level be placed within 10 feet of the rear property line. In no case shall an exposed radiating part of an antenna on the ground or on a patio or deck with an open railing be placed less than 10 feet above the ground or the walking surface of the patio or deck in any uncontrolled area. An upper level deck at least one flight (8 ft or more) of stairs above ground level or a screened porch at any level is a controlled area.
10. **Number of Antennas:** The number and types of antennas shall be included in the DRA. Vertical antennas may be mounted on the either on the deck or house. The DRA will indicate the number of fixed wire antenna supports that will be placed in the area.
11. The requester will sign the DRA with their signature and also include FCC License Call Sign.

MAINTENANCE:

All antennas and satellite dishes shall remain in good condition and repair. Abandoned or unused antennas and satellite dishes must be removed, along with all exterior wiring, support structures and cables.

ARBORS: A **DRA**, including a detailed description of the arbor and its planned location is required. Arbors are free standing landscape features. Stand-alone arbors are not permitted in front or side yards. Arbors may be constructed only in rear yards and must be placed so they are at least 5 feet from the property line, except when they are incorporated into fences as described in Fences – Above Ground. (See “**FENCES – ABOVE GROUND**”) Only 1 arbor may be constructed on any lot. The scale and style of arbors must be compatible with the environmental surroundings, including the size and style of the house, the lot, and the size and style of adjacent homes. Arbors may not be taller than 8 feet, wider than 5 feet, or deeper than 3 feet. Vegetation may be grown on arbors. However, the appearance and condition of the underlying structure must be maintained. Vegetation shall be kept neatly trimmed and shall not extend over a property line. Dead vegetation shall be removed, especially at the end of the growing season. Accessory decorative objects, such as bird feeders, wind chimes, and hanging baskets shall not be incorporated into arbors. Arbors incorporated into fences shall be white. Arbors in other locations in rear yards shall be black, white or the color of the house trim. Arbors should be constructed of weather resistant materials such as composite, vinyl, or metal; wood is not acceptable. Pictured below are examples of arbors that are deemed to be appropriate in style and proportion for installation in Heritage Hunt.



AREA UNDER ELEVATED STRUCTURES: These criteria apply to the area under all elevated structures including decks, porches and sunrooms.

The area under all elevated structures must be kept neat and well maintained at all times. If the area

under an elevated structure is to be used for storage of lawn mowers, garden tools, garden or building materials, ladders, etc. It must be screened by using lattice, siding, or landscaping. Sunshades may not be used as screening under elevated structures. Also see the topic “STORAGE” below.

SCREENING WITH LATTICE, VINYL SIDING, OR LANDSCAPING: A **DRA** must be submitted with drawings and other data showing how the plan for installation of lattice, siding, or landscaping will be implemented.

1. **Lattice:** If lattice is used for screening, it must be framed out with the framing on the exterior and covering all edges and joints. The framing must not be less than 1.25 inches wide. The framing at the bottom may be up to 10 inches wide. When lattice screening is used, it must be the same color as the vertical surfaces of the deck/porch/sunroom. The lattice must extend from the underside of the floor joists down toward the ground. The space between the bottom of the lattice and the ground shall not be more than 3 inches.



2. **Vinyl Siding:** If the height of the area under an elevated structure is six feet or less, the use of siding instead of lattice may be permitted on a case-by-case basis. The siding must extend from the underside of the floor joists downward toward the ground. The space between the bottom of the siding and the ground shall not exceed 3 inches. When siding is used, it must be the same style and color as the siding used on the house.



3. **Landscape Screening:** If landscaping (a hedge) is used to screen items being stored under an elevated structure it shall be done with mature plants that are tall enough and closely spaced enough to obscure the items being stored at the time of planting. There cannot be a “grow-in” period that will eventually hide the items under the elevated structure. Plants to be used for screening are listed Appendix VI. Plants used for screening items stored under elevated structures must be kept pruned. To determine the maximum height allowed for such screening plants, see the topic HEDGES below.

Ground Cover: Where ground cover or turf under an elevated structure cannot be maintained, the area under the elevated structure must be covered with pea gravel, mulch, river rock, or other materials. When such materials are placed under an elevated structure, they must be kept free of weeds and debris and neatly edged. See “**LANDSCAPE EDGING**” for edging guidelines. A **DRA** is not required.

Swings and Hammocks: Swings and hammocks are permitted under elevated structures with patios. A **DRA** is not required.

Hot Tubs /Spas: If the area under an elevated structure is to be used for a hot tub/spa, see “HOT TUBS/SPAS” below.

Drop-down Shades: If drop-down sunshades are to be installed under an elevated structure with a patio, see “**SUNSHADES**” below.

Ceilings: Ceilings may be installed under elevated structures to create a dry space. Ceilings may be white or match the color of the support posts and beams. If gutters and downspouts are installed, they must match the color of the support posts and beams as close as possible. If an edging is installed along the bandboard of the elevated structure, to hide the edge of the ceiling, the color of the edging must match the color of the bandboard. A **DRA** is not required if these criteria are met.

ATTIC VENTILATION: A **DRA** accompanied by a photograph or brochure showing the style and dimensions of the proposed attic ventilation fan is required for installation of a new fan. Fans may be installed only on rear roofs. The replacement of roof mounted powered (electric/solar) attic ventilation fans are permitted without submission of a **DRA** if the new fan is same as the one being replaced. A quiet model should be selected. The solar panel on solar powered fans must remain attached on top of the fan housing, but it may be tilted to optimize efficiency. The color of new and replacement fans should be consistent with the color of the roof shingles. White and silver should be avoided.



AWNINGS: (also see Sunshades) Approval of a **DRA** is required prior to installation of an awning. Awnings are defined as retractable, nearly horizontal canopies permanently attached to the house for the purpose of providing shade over the walking surface of a deck or patio. Awnings must meet the following guidelines.

Location: Awnings are restricted to the rear area of the house and over decks and patios. They shall not extend beyond the side plane of the house. Awnings shall only be wall mounted below the soffit and not mounted on the roof.

Scale and Style: Awnings must be in scale with the house's rear dimensions. They must be retractable. Awnings that stay down permanently are not allowed.

Material: Awnings must be fabric. Metal, vinyl or other plastic fabric shade material is prohibited. Housing and mechanical components may be metal or plastic.

Color: The color of awning fabric must be compatible with the existing colors of the dwelling. For example: gray on gray, tan on beige, etc. The fabric/material of awnings must be a solid *light* neutral color. Awnings that have striped colors or designs are not permitted. Applicants must provide a cloth

sample of the awning material at a Committee meeting as a part of the documentation supporting the **DRA**. The color of frames and mechanical components must be compatible with the existing colors of the dwelling and the awning material.

Maintenance: Awnings and mechanical components must be maintained in good repair or removed. Awnings must be replaced as color fades or material becomes weathered or stained. Frames must be removed if the awning is removed and the side of the house repaired as required.

Use: When not in use, awnings should be retracted.



BATTERY-BACKED POWER SUPPLY SYSTEMS: Battery-backed power supply systems are permitted. Such equipment must be located inside the house or garage. A **DRA** is not required.

BEEHIVES: Beehives are not allowed.

BENCHES: See “**DECORATIVE OBJECTS AND LAWN EQUIPMENT/OUTDOOR FURNITURE.**”

BIRDBATHS/FOUNTAINS: 1 birdbath (with or without fountain) or 1 fountain may be integrated into a landscape bed in the front, side yard, or rear yard. In rear yards, birdbaths and fountains may be integrated into the design of a patio. The birdbath/fountain shall be of a scale and size compatible with the landscape bed or patio design. A pedestal birdbath or fountain shall be no taller than 3 feet from the ground with a diameter of no more than 2 feet. Color is limited to gray, black, brown, green or white. Bird baths and fountains will be counted as a Decorative Object. Owners shall maintain cleanliness of water and structure.

A **DRA** is not required for birdbaths / fountains that meet the criteria outlined above. Any proposed exceptions to size, color or location will require a **DRA** and the application may or may not be approved.

BIRDHOUSES/FEEDERS: The combined number of birdhouses and bird feeders on a lot is limited to a maximum of 6. A **DRA** is not required to install birdhouses/feeders in the rear yard. A **DRA** is required to install bird houses/feeders in a side yard location. No more than 2 bird houses / feeders may be installed in a side yard. All others must be installed in the rear yard. Bird houses and bird feeders may not be installed in front yards. This includes hummingbird feeders. Birdhouses and birdfeeders may not be installed on common ground without the approval of the Grounds Committee.

Birdhouses and bird feeders shall be no taller than 3 feet with a diameter of no more than 2 feet; and shall not be within 5 feet of a property line as stated under decorative objects. The top of birdhouses and bird feeders mounted on poles shall be no higher than 6 feet above the ground. Any proposed exceptions to location or size will require a Design Review Application and the application may or may not be approved.

Owners shall maintain the cleanliness of birdhouses and birdfeeders and the turf area below them. Birdhouses/Feeders are not considered Decorative Objects.

BULK TRASH CONTAINERS (DUMPSTERS): Use of such containers/dumpsters is regulated by

Policy Resolution #8. Owners should contact the Covenants Administrator prior to placing such a container at their home.

BUSINESSES IN DWELLING UNITS/HOMES: Policies and procedures related to obtaining approval for businesses in homes, including condo units, are outlined in Policy Resolution #14 “Standards for Businesses in Dwelling Units”.

CARPETING: Indoor/outdoor carpeting and synthetic grass is prohibited on any exterior surfaces (for example, front stoops, decks, patios, etc.).

CLOTHES LINES: Clotheslines or similar apparatus for the exterior drying of clothes or other purposes are prohibited.

COMPOST BINS: Manufactured vermin proof compost bins are permitted at the rear of the house abutting the house wall or foundation and not exceeding the side plane of the house. They may be placed anywhere at the rear of the house, including on a patio or under a deck/porch/sunroom. Compost bins are not permitted within 5 feet of any property lines. The size of the compost bin shall not exceed 45 inches high by 26 inches wide by 38 inches deep. The bin color may be black, beige/tan or dark green. As noted in the Landscaping section below, these bins may be placed on a stone or gravel area. If the compost bin meets these guidelines, a **DRA** is not required. Any exceptions to location or size will require a Design Review Application. The application may or may not be approved.

CONCRETE SURFACES –(See also “**WALKING SURFACES**”)

A DRA is required for modification of the shape or extent of any concrete surface.

Replacement of a concrete surface with concrete or repair of a concrete surface with concrete does not require a **DRA**. Repair of a concrete surface with any type of top coating material **does** require a **DRA**.

Use of a clear, colorless sealant does not require a **DRA**. The use of paint, stains, or colored sealant **does** require submission of a **DRA**. A swatch / brochure showing the proposed paint stain, or sealant color must be attached to the **DRA**.

CURB PAINTED HOUSE NUMBERS: Curb painted numerals to assist fire or rescue squads are acceptable provided they are painted black on the existing curb and do not extend past the vertical surface of the curb. White or other backgrounds are not allowed. No **DRA** is required.

CUPOLAS: Cupolas are not permitted.

DECKS:

General: Construction of a deck requires Prince William County permits.

- **A Design Review Application (DRA) must be submitted and approved prior to construction of a deck.** Drawings submitted with the **DRA** do not have to be professionally done, but they must be to scale. They must include a plan view and rear, left, and right elevations with dimensions and provide sufficient clarity that will allow the ARC to understand what the completed project will look like. The application must also state what materials and colors will be used to construct the deck. If a deck is associated with a stair or railing, the stair or railing must also be described in the **DRA**.
- A **DRA** is required whenever changes are made to the design, color, or materials used in an existing deck. Removal of an existing deck also requires a **DRA**.

- Owners planning to construct a deck are advised to consider that decks are an extension of the house, which can impact its exterior appearance and may affect the privacy or other aspects of adjoining homes.
- **All elements of decks must be maintained in good condition at all times** just as the house it is attached to must be. No significant blistering or peeling of painted or stained surfaces is permitted. Rotting or broken materials must be replaced. Algae, moss, and fungus stains must be removed. Maintenance and repair activities, such as repainting or re-staining railings or trim that maintains the approved color, cleaning off algae, moss, or fungus, or replacing rotten or broken materials with like materials, and etc. do not require a Design Review Application.
- **Privacy screening / walls** above the level of the deck railing **may** be permitted on a case-by-case basis for attached homes only. See the topic “Privacy Screens / Walls” below. Built-in benches and planter boxes that do not extend above the height and rear plane of the deck railing are permitted. For detached homes, no permanent structure shall be built into the deck that extends above the rail height, except pergolas as described below.
- **Pergolas** may be incorporated into existing or new decks. A Design Review Application, which includes a detailed description and location of the pergola, is required for the addition of a pergola to an existing deck. For new decks, the pergola must be fully described in the plan and elevation view drawings accompanying the application. In no case may the overhead timbers (beams) of a pergola extend outward from the rear wall of the house more than 16 feet or beyond the outer edge of the deck. Pergolas may not extend beyond the side plane of the house. See the topic “Pergolas” below.
- **Landscaping:** Landscaping around decks is strongly encouraged to soften corners and views from adjacent lots. (See “**LANDSCAPING**”)
- **The area under elevated decks must be kept neat and well maintained at all times.** If the area under an elevated deck is to be used for storage of lawn mowers, garden tools, garden or building materials, ladders, etc. It must be screened by using lattice, siding, or landscaping. Sunshades may not be used as screening under elevated decks. **For Guidelines related to the area under elevated decks see the topic “AREA UNDER ELEVATED STRUCTURES” above.**
- For Guidelines related to ceilings under elevated deck, see the topic “**AREA UNDER ELEVATED STRUCTURES**” above.

Deck Criteria:

The ARC will consider the following factors in their review of applications for decks.

Location: Decks must abut the rear wall / foundation of the home. No part of the deck may extend beyond the side plane of the home. Stairs are considered an integral part of a deck. They may not exceed the side plane of the house. A flat, ground-level landing area, not to exceed 4' X 6', may be installed in the side plane of the house at the bottom of stairs. (Note: The side plane of the house does not include bay windows or other bump-outs). Side yard locations for decks and their associated stairs will not be approved.

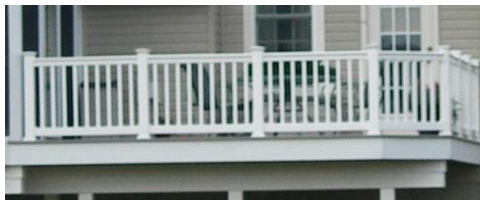
Setbacks: Decks must meet the setback requirements shown in Appendix II.

Scale and Style: Decks, particularly elevated decks, shall be of a scale which is compatible with the home to which attached, adjacent homes, and the environmental surroundings.

Drainage: Any adverse drainage, which might result from the construction of a deck, shall be considered. If construction of a deck causes drainage issues on adjoining properties, the owner constructing the deck shall be responsible for remedying the situation. Approval will be denied if the ARC determines that adjoining properties will be adversely affected by changes in drainage.

Materials: Decks may be constructed of high-quality pressure-treated wood, (#2 southern grade yellow pine or better) or cedar that remains stable in exterior applications or other wood that remains stable in exterior applications, such as cedar and redwood. Steel, aluminum, PVC, and composite materials may also be used where appropriate. The **DRA** must state what materials are being used and where:

- Railing spindles/pickets shall be approximately 2 inches by 2 inches square or round. Metal wire/cable/rods railing components are not permitted. Railing heights are not to exceed 42 inches and posts are not to exceed 45 inches, including the post cap. Solar/ low voltage light post caps may be used provided the top of the light does not exceed 45 inches above the walking surface of the deck. Gates in deck railings shall be consistent with railing components in design and material.

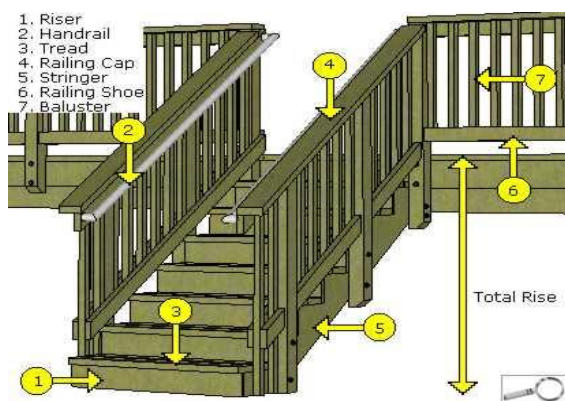


- Pressure treated wood walking surfaces may be painted or stained with a brown-tone paint or stain or may be treated with transparent preservative stain. The color to be used must be stated in the application. Brown wood-tone composite walking surfaces are permitted. The color must be stated in the application.

Color of Vertical Surfaces:

- The color of all visible vertical surfaces must be stated in the Design Review Application. All visible vertical surfaces of decks (including, but not limited to, pickets, rails, stair stringers, stair risers, support posts, support beams, band boards, and lattice) shall all be the same color and be white or painted/stained to match the house trim color.
- The house trim color is defined as the color found on the gable, soffit, garage door, finished wood or metal around the garage door and similar treatments around windows.
- Where aluminum, vinyl, or composite railing material is used, the color shall be white or match the house trim color as close as possible. Because some aluminum, vinyl, and composite railings do not closely match house trim colors, the use of railing and trim colors that match the house siding color may be considered on a case-by-case basis.
- Use of a wooden cap on railings is permitted as long as the cap is stained or painted to match the color of the railing or the deck floor or the stair treads. Use of a composite cap on railings that is the same color as the deck floor or stair treads is also permitted.

Stairs and Landings:



- It is the responsibility of the applicant to ensure that stairs and landings meet Prince William County codes.
- All elements of stairs and landings must be fully described in the **DRA**.
- Stairs may be open or closed. That is, the riser does not have to be present.
- Pressure treated wood walking surfaces of stairs and landings may be painted or stained with a brown-tone paint or stain or may be treated with transparent preservative stain. The color must match the color of adjoining deck walking surface colors. The color to be used must be stated in the application. Brown wood-tone composite walking surfaces of stairs and landings are permitted. The color and material must match the adjoining deck walking surface colors. The color must be stated in the application.
- Small, low voltage lights may be installed in stair risers or on stair railing support posts as may be required by code.
- Stair risers may be the same color and material as that of the deck trim, or they may be the same color and material as the stair tread.
- Stair stringers shall be painted or stained to match the color of other vertical surfaces of the deck or porch.
- Stair railings must be of the same design, material, and color as the deck or porch railing.
- Stair handrails must be the same color as the stair railing.
- The stair rail cap may wood or composite. The color may match the other vertical surfaces of the deck or porch or the color of the stair treads.
- Stairs are considered to be an integral part of a deck or porch. No part of the stairs may exceed the side plane of the house except the lower landing. The lower landing may be the turf, concrete, pavers, flagstone, etc. A flat, ground-level landing area, not to exceed 4' X 6', may be installed in the side plane of the house at the bottom of stairs. The material, size, and etc. of the lower landing must be fully described in the **DRA**.

DECORATIVE OBJECTS: Exterior decorative objects will be evaluated in terms of number, general appropriateness, size, location, and compatibility with architectural, environmental and aesthetic design qualities. The visual impact on the neighborhood, surrounding area and community will also be considered. Any proposed exceptions to number of objects, location, or size will require a Design Review Application. The application may or may not be approved. If there is any doubt or question about the number of decorative objects allowed or the acceptability of a decorative object, owners should submit a Design Review Application for approval before installation of the object.

Decorative objects include but are not limited to:

- Objects that state name, house numbers, "welcome", or etc.
- Obelisks/pyramids that do not support plants are considered decorative objects. They are allowed as described below. They must be less than 2 feet wide at any point and the top may not be more

than 4 feet above the ground. If obelisks/pyramids are used to support plants, see Trellises/Obelisks/Pyramids below.

- Flowerpots.
- Individual pieces of “decorative fencing” located within landscape beds. Each section will be counted as a decorative object. However, as noted below in “**LANDSCAPING, DECORATIVE FENCING**”, decorative fencing may not be used as a border or edging along driveways, walkways, sidewalks, and landscape beds.
- Weathervanes. For size limits and other criteria, see “**WEATHERVANES**” below.

Decorative Objects do not include:

- Arbors,
- Bird baths, bird fountains, birdhouses, birdfeeders
- Compost bins
- Fire pits and grills
- Flower boxes
- Landscape walls and structures, and decorative walls
- Seasonal decorations
- Trellises, or
- Individual stones located in approved landscape beds

Artificial Flowers: Artificial flowers and plants are restricted to front porches, decks, patios, and flower boxes. Artificial flowers and plants must be maintained in good condition.

Number of Decorative Objects Allowed:

The number of decorative objects permitted for each side of a house and on front/side entry porches is listed below. Requests to install decorative objects in excess of these numbers will not be approved.

DRAs requesting Installation of decorative objects in excess of the permitted size limits will be evaluated on a case-by-case basis using the criteria noted above.

Front Yard & Front Plane of Homes (Including Landscaped Areas) = Up to 6

1. Up to 6 decorative objects are permitted in the area forward of the front plane of the house, including in landscaping and turf, without approval of a **DRA** provided their widths and depths are no more than 2 ft. and their heights are no more than 2 ft. for 4 of the objects and no more than 3 ft. for 2 of the objects. As noted above, obelisks and pyramids may be 4 ft. tall. The height of objects will be measured from the turf or mulch. One of the 6 decorative objects may be attached to the front plane of the house.
2. No exterior decorative objects will be permitted on driveways except for 1 potted plant on each side of the garage door within 2 ft. of the house .
3. Decorative and “park” style benches that are permanently displayed on front yard lawns, in landscaping, or on front walkways require a **DRA**. They must be of a size, material, color, and design that are in proportion to the overall décor of the immediate yard area and do not, by their appearance, number, or location, create a negative visual impression. Chairs, tables, or other furniture not approved for permanent display on lawns and in landscaping. If they are used, they must be removed from lawns and landscaping on a daily basis.

Side Yards & Side Plane of Homes (Including Landscaped Areas) = Up to 4 on each side of house

1. Up to 4 decorative objects are permitted in each side yard of the house between the front and rear planes of the house, in landscaping or turf, without approval of a **DRA** provided their widths and depths are no more than 2 feet and their heights are no more than 2 ft. for 3 of the objects and no more than 3 ft. for one of the objects. As noted above, obelisks and pyramids may be 4 ft. tall. The height of objects will be measured from the turf or mulch. One of the 4 decorative objects may be attached to the side plane of the house.
2. Decorative and “park” style benches that are permanently displayed on side yard lawns, in landscaping require a DRA. They must be of a size, material, color, and design that are in proportion to the overall décor of the immediate yard area and do not, by their appearance, number, or location, create a negative visual impression. Chairs, tables, or other furniture are **not approved for permanent display on side yard lawns and in landscaping, if they are used, must be removed from lawns and landscaping on a daily basis.**

Front /Side Entrance Porches = Up to 4

Up to 4 decorative objects (which includes benches, tables, and chairs) may be placed on a front or a side entrance porch, (which is defined as the concrete area adjacent to the front door excluding walkways and driveways), without a **DRA** provided they do not, by their appearance, number or location, create a negative visual impression. Metal, wooden, concrete, and vinyl benches and tables/chairs are permitted.

Rear Yard and Rear Plane of Homes (Including Landscaped Areas) = Up to 6

Up to 6 decorative objects are permitted in the area from the rear plane of the house to the rear property line, in landscaping or on the turf, without approval of a **DRA** as long as they are within the 3 feet high, 2 feet wide and 2 feet deep size limits. As noted above, obelisks and pyramids may be 4 feet tall. The height of objects will be measured from the turf or mulch. One of the 6 decorative objects may be attached to the rear plane of the house.

Other Objects in Yards

ARBORS: Arbors, as described above, may be installed only in rear yards (except when incorporated into a fence. (See “FENCES”). They may be incorporated into landscaping and installed adjacent to patios. They may not be installed on patios or decks.

BENCHES: Benches that are permanently displayed on lawns, or in landscaping, require a **DRA**. They must be of a size, material, color, and design that are in proportion to the overall décor of the immediate yard area and do not, by their appearance, number, or location, create a negative visual impression.

Benches, chairs, tables or other furniture not approved for permanent display on lawns and in landscaping, if used, must be removed from grassy areas or landscaping on a daily basis.

SWINGS, HAMMOCKS, AND UMBRELLAS: Swings, hammocks and umbrellas are limited to patios, decks and porches. Lawn furniture that is not on a patio, deck, or porch is to be removed from grass areas on a daily basis.

COMMON AREA OBJECTS: Decorative objects are not allowed to be placed on adjacent common grounds except under the auspices of the Adopt-A-Spot program of the Grounds Committee. All other decorative objects in the rear yard are subject to the **DRA** and approval process.

GRILLS: Grills that are located on the turf, and not on a patio or deck, should be located within 4’ of the rear of the house when not in use. See, the topic GRILLS below.

DOG HOUSES, ANIMAL SHELTERS AND DOG RUNS: Temporary or permanent dog houses and other exterior animal shelters are prohibited. Temporary or permanent animal enclosures, other than fences discussed below, and dog runs are prohibited.

DOORS:

1. **Front / Side Main Entry Doors, Sidelites, and Transoms:** Front / Side Main Entry Doors must be of one color only. Outlining of panels and glass inserts in another color is not permitted.
- Owners may **replace** their existing front or side main entry doors, sidelites, and transoms without submitting a **DRA**, so long as they maintain the existing colors and the existing design.
 - **Any proposed change from the existing door color or design requires a DRA** accompanied by a photograph or brochure that clearly shows the color and design of the proposed replacement door. If a door is simply to be painted a different color, see below. Some new doors have baked on finishes. The supporting documentation submitted with the **DRA** must demonstrate that the color of the proposed new door closely matches the existing door color or one of the paint colors used by the developer. If a door is replaced or modified in some way, the design of the new door or modified door does not need to match the design of doors used by the developer exactly; however, the design of the replacement door or modified door should be consistent with the three door and sidelite designs used by the developer as shown below. It is understood that some front/main entry doors have no sidelites, or only one sidelite. Also, some front/main entry doors do not have a transom. Glass in front /main entry doors, sidelites, and transoms may be clear or leaded glass as indicated in the pictures below.



- Any proposed change from the existing sidelite or transom design or glass requires a **DRA** accompanied by a photograph or brochure that clearly shows the design of the proposed replacement sidelite or transom and glass. Sidelites and transoms with regular, clear glass must have grids. Changing from regular, clear glass to leaded or other glass requires a **DRA**. The design of new sidelites and transoms with leaded glass do not have to match the designs used by the developer but they should be consistent with the designs used by the developer.
- Only door colors may be changed. All of the trim surrounding doors, sidelite panels, and transoms trim must retain the existing trim color of the house. For example, the color of the door pictured here can be changed from red to another color, but all of the trim must remain beige as it is.
- Owners may repaint the exterior of their front / side main entry doors without submitting a **DRA** provided they use one of the pre-approved McCormick or Sherwin Williams paint colors used by the developer. The list of colors used by the developer is on file with the Covenants Administrator. Many paint swatches are also on file.
- If a paint color not on the list of paints used by the developer or another manufacturer's paint is to be used, a **DRA** is required and a swatch showing the color of the paint must accompany the application. In this case, the paint color to be used must closely match the existing color of the door or one of the colors used by the developer.



NOTE: The color of the front door and builder-installed shutters must match. If the color of the door is changed, the color of the shutters must also be changed.

2. **Other Exterior Doors:** The architectural design for other exterior doors and transoms installed in the walls of homes and sunrooms that are not a main front or side entry doors is shown in the pictures below. The glass in these doors and transoms must have grids. The glass must be clear. Frosted, colored, and leaded glass are not permitted in these doors and transoms. French and sliding doors are interchangeable. Rear and side entry doors may have sidelites or transoms, but the glass must be clear glass and have grids. The exterior of replacement doors shall be white or match the trim color of the house. The door trim shall match the trim color of the house. A **DRA** is not required to replace a rear or a side door, that is not a main entry door, provided the style of the replacement door matches the style of one of the doors pictured below. All doors with glass must have grids or grilles in the glass area to create the appearance of individual panes. Installation of doors that incorporate a pet door is permitted only if the door exits into a fenced yard.



Solid Door



9 Pane Door



15 Pane Door



15 Pane
French Door



15 Pane Sliding
Door
No transom



15 Pane Sliding
Door /
5-Pane Transom

3. **Garage Doors:** The architectural color standard for garage doors is that the color of the door must match the color of the house trim as closely as possible as shown in the pictures below. Garage doors may be the wooden panel door shown on the left below or the raised, short panel door as shown on the right. The raised, short panel doors may be painted metal, vinyl clad metal, or composite clad metal. Raised, short panel doors without windows are allowed. Doors that do not match well with the color of the house trim shall be painted to match the trim.



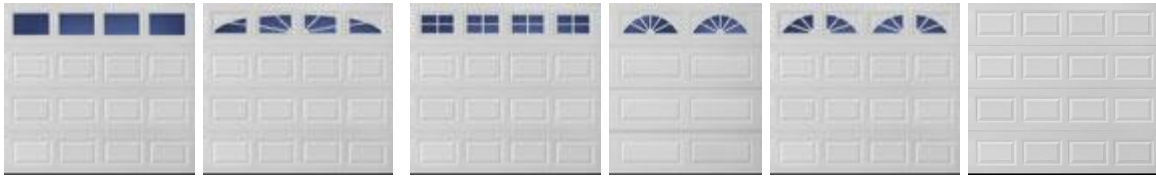
Beginning with approval of these Guidelines, replacement of a garage door requires approval of a Design Review Application.

- The color of the new door must match the color of the house trim as close as possible. Applicants must submit or have available a color sample so the Architectural Review Committee can compare the planned door color to the house trim color.
- The style of the new door must match the original wooden door or one of the pre-approved raised, short panel door styles illustrated below.

Note: White is NOT a default color for garage door replacement. White may be used only if the color of the house trim is white.

Garage Door Keypad controllers may be installed without a **DRA** on the side trim of the garage door.

Below are approved raised, short panel door styles:



4. **Screen Doors:** A **DRA** is **not** required to install a screen door that matches one of the styles shown below on doors other than the main entry door of the home. For main entry doors, see 5 below.
- The color of the frame the screen door is attached to shall match the house or porch trim color as closely as possible.
 - The color of the frame of the screen door shall also match the color of the house or porch trim as closely as possible; however, white may be used if the house or porch trim color cannot be closely matched.
 - Door style G, which incorporates a pet door, may be installed only if the door exits into a fenced yard.
 - When replacing an existing screen door, these criteria apply.
 - Door styles that do not match one of the styles below require a **DRA** and may not be approved.



5. **Storm Doors for Front or Side Main Entry Door:** At the front or side main entry into the home, storm doors are permitted; however, the glass/screening must cover at least 80% of the door surface.
- Etching in the glass is permitted.
 - Storm doors with decorative treatments, such as grills are not permitted.
 - Storm doors with built in venetian blinds are not permitted.
 - The color of the frame the storm door is attached to should match the color of the entry door or the house trim color as closely as possible.
 - The color of the frame of the storm door should match the color of the house trim or the entry door as closely as possible; however, white may be used if the house trim or entry door color cannot be closely matched.

A **DRA** is not required to install a storm door that matches one of the styles shown below and the color criteria above. Only door styles 1 through 3 may be used on front or side main entry doors.

6. **Storm Doors for Other Door Locations:**

Styles 1 through 6 may be used on sunrooms, screened porches, on screened porches converted to sunrooms with glass or vinyl windows, or on standard side and rear exit doors. Door style 6, which incorporates a dog door, may be installed only if the door exits into a fenced rear yard.



7. **Disappearing / Retractable Screen Doors:** Disappearing/retractable screen doors may be installed wherever a standard screen door might be installed. A **DRA** is not required. The casing and frame of the door must match the house trim color as closely as possible. This pre-approval does not apply to screened porch walls (See Retractable Screening below).

8. **Garage Screen Doors:** Garage screen doors similar in design and style to the one shown below may be considered on a case-by-case basis. Submission and approval of a **DRA** is required prior to installation. The frame of the door shall closely match the color of the garage door trim or be white. The color of the screen shall be black or charcoal. Such doors may not be installed to turn garages into porches or other living space.



DRAINAGE SYSTEMS: Splash blocks and various types of pipe and tubing may be used to direct water associated with downspouts, A/C condensation pipes, and sump pumps away from house foundations. (see “**GUTTERS AND DOWNSPOUTS**” below.) However, splash blocks, pipes and tubing associated with downspouts, A/C condensation pipes and sump pumps must be located and oriented in such a manner that they do not direct drainage onto neighboring properties. If drainage negatively impacts neighboring lots or a common area, the owner of the lot where the drainage is coming from shall bear full responsibility for correcting the problems.

Typically, collaboration between neighbors and between Lot owners and the HOA produces the most beneficial solution. Drainage problems associated with the common areas or the golf course should be reported to the General Manager or the Grounds Committee.

PWC’s website states that if you have drainage / flooding concerns on individual lots and common areas, they will be evaluated against the approved plan for general conformance. Your Area Site Inspector can meet with you to evaluate the concern and recommend appropriate actions. Contact Watershed Management at 703-792-7070 to speak with your Area Watershed Site Inspector.

Installation of drainage systems in yards may not negatively impact neighboring lots or common areas.

Unless consent is granted in writing by an abutting neighbor/homeowner, all elements of a drainage system shall be installed entirely within the owner’s / applicant’s property. The neighbor’s written consent must accompany the application.

If neighbors collaborate to install a drainage system that crosses property lines, a DRA must be submitted by each affected property owner.

If some part of a drainage system will extend into a HOA common area, the consent of the HOA Grounds Committee is required and the consent must accompany the DRA.

If some part of a drainage system will extend into a PWC Department of Public Works (PWC DPW) storm water management easement, a copy of the approved PWC DPW “Application for Construction within a Storm Drainage Easement” must accompany the DRA. Information regarding PWC Public Works and the required application is available at www.pwc.org or by telephone at 703-792-7070.

If a County drainage easement on your property is blocked, in need of repair, or if it does not seem to be functioning normally, contact the PWC Department of Public Works or the CMC General Manager.

If some part of a drainage system will extend into a PWC Service Authority (PWCSA) sanitary sewer easement, the consent of PWCSA Division of Engineering and Planning is required and the consent

must accompany the DRA. The consent of the PWC SA is normally provided by them in the form of a letter. Information regarding PWC SA Division of Engineering and Planning can be obtained at 703-335-7930.

DRIVEWAYS: See “**CONCRETE SURFACES**”

EASEMENTS: It is the owner’s responsibility to contact the proper County authorities concerning storm water management, sanitary sewer, or other easements before making any exterior modifications that extend into easements. Approval by the Committee for exterior modifications shall in no way be construed as to pass judgment on the correctness of the location, structural design, and suitability of water flow or drainage, location of utilities, or other qualities of proposed change being reviewed. See “**FENCES**” below regarding storm water management and sanitary sewer easements.

FENCES (General Information): A **DRA** is required for all fences, including invisible fences. PWC Zoning states that zoning approval is required for all above ground fences. A copy of the PWC zoning approval must be submitted with the **DRA** for an above ground fence.

All fences shall be installed entirely on the owner’s property. Above ground fences may be installed only in rear yards. Fences, including invisible fences, may not be installed until the corners of the property have been identified by survey or by finding the iron pins.

Installation of above ground and invisible fences in Storm Water Drain Easements requires Prince William County Environmental Services approval of an application for Construction in a Storm Water Easement. A copy of the Environmental Services approval must be submitted with the **DRA**. Information and forms are available on the PWC website at (www.pwcgov.org) or by telephone at 703-792-7070.

Installation of above ground and invisible fences in Sanitary Sewer Easements requires Prince William County Service Authority Division of Engineering and Planning approval. A copy of the Service Authority approval must be submitted with the **DRA**. Information may be obtained from Contact Customer Service at 703-335-7950.

General guidelines for the construction and approval of both above ground and invisible fences are provided below.

These criteria do not address privacy screens and walls. They are discussed under the topic Privacy Screens and Walls below.

Above Ground Fence Criteria:

1. **Chain Link and Barbed Wire Fences** - Chain link and barbed wire fences are prohibited. Chain link or barbed wire fencing material will not be permitted for any use.
2. **Fencing** –Above ground fences shall maintain a sense of “openness” in the community. Above ground fences are not allowed for homes with a rear yard that abuts or is adjacent to the golf course. Fences in other areas, which would have an adverse visual impact, may be denied. Fence contractor signs are prohibited. Fences may be located up to 12 inches forward of the rear plane of the home to accommodate the presence of downspouts. Unless there is an overriding reason not to do so, all gates shall swing into the fenced area.
3. **Rear Yard Fence Styles** Fences may be located anywhere within rear yards. They do not have to be situated at the property line.

Fences constructed of wood or vinyl (PVC) shall be white. It is preferred that fences constructed of

aluminum be white, especially when they are to be installed in the vicinity of white wooden or vinyl fences; however, black aluminum fences may be allowed on a case-by-case basis. Fence styles must match or closely match one of the fence styles shown in Figures A through D below. These styles all maintain a degree of visual continuity between private yards and common area.

When fences are constructed of wood, the vertical support posts and the horizontal picket support boards must be cedar or pressure-treated wood and the fence boards/pickets must be cedar or pressure treated wood. The horizontal picket support cross boards shall be on the inside of the pickets toward the owner's property.

A thin gauge wire mesh may be attached to the interior side of a fence to enclose the yard for pets. It is preferred that all gates swing into the fenced area and that hardware such as hinges and latches be placed on the inner face of the fence. Applications for new fences that will be in the vicinity of an existing one must maintain a sense of continuity and uniformity in height and style.

4. **Height of Fence Pickets, Posts and Caps**

- A. On a straight picket fence, **Figure B** below, the height of the individual pickets shall be no shorter than 36 inches. The space beneath the bottom of pickets and the ground shall be no more than 3 inches. This allows ample room for maintenance. The top of pickets shall be no more than 48 inches above the ground. If pickets are 48 inches tall and a gap is desired, the pickets must be cut to maintain the height of the pickets above the ground to a maximum of 48 inches. The top of support post(s), including the decorative cap, shall be no more than 8 inches above the picket. As an example, a fence with an opening of 3 inches between the ground and the bottom of the pickets must have pickets that are no more than 45 inches tall. If 48 inch pickets are used, the bottoms must be in contact with the ground. With a maximum decorative cap of 8 inches, the total support post height would be 56 inches above the ground.
- B. On a scalloped fence, **Figure C** below, the shortest center picket(s) shall be no shorter than 36 inches and the tallest picket (at the end of the scalloped fence) shall be no higher than 48 inches. As with a straight picket fence, a 3-inch opening is permitted beneath the pickets for maintenance but the top of the tallest picket cannot be more than 48 inches above the ground. With this 3-inch opening beneath the fence, the total height at the center picket would be 39 inches. The support post(s) with a decorative cap shall be no higher than 8 inches above the end picket or a maximum of 56 inches above the ground.
- C. Unless they were approved prior to the requirement for all fences to be white, all support posts, boards, and post caps on Five Board Estate Fences (Figure D below), shall be white.



Figure A



Figure B

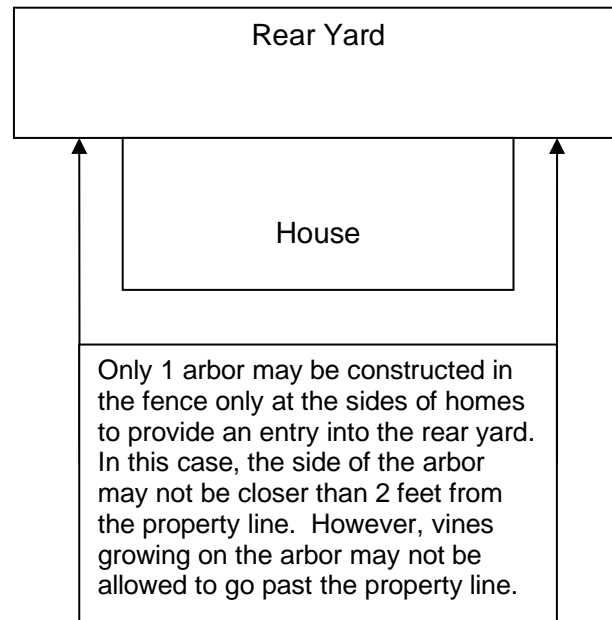


Figure C



Figure D

5. **Arbors:** Arbors, as described above, may be incorporated into that portion of a fence that extends outward from the side plane of the house as illustrated by the red rectangles in the figure below. Only one (1) arbor may be constructed in the fence on each side of the house to provide an entry into the rear yard. Arbors installed in these side areas may not be closer than 2 feet to the neighboring property line. Vines growing on the arbor may not be allowed to go past the property line. Vines on arbors must be kept neatly trimmed.



6. **Maintenance, Replacement, and Removal:** Fences must be maintained in good condition at all times. This includes, but is not limited to, repainting or re-staining, replacement of broken or warped boards and pickets and removal of dirt, moss, fungus, and algae. Replacement of an existing fence requires approval of a **DRA**. Fences may be removed at any time without submitting a **DRA**.

Invisible Fence Criteria:

- Underground invisible fences, to restrain dogs or cats, require approval of a **DRA**. Installation of an invisible fence may not commence until the corners of the lot have been identified / marked by finding the iron pipes or by survey.
- **Installation in front yards must be 4 feet in toward the front of the house from the front property line. The front property line is that side of the property parallel to the garage door.**

- **The expansion joint between the driveway apron and the driveway may not be used for any wire/cable that is transmitting a signal. Typically, the expansion joint is located at the property line.**
- No part of an invisible fence may be installed in the ingress/egress area (as defined in Section I. "GENERAL", subsection C of these guidelines) in front of a home, any common area, or the golf course.
- Invisible fence signs are required to be visibly posted in front of the house on both sides of the mailbox post. Owners of golf course lots or lots abutting common areas must post signage at their property line.
- **Within 10 days after installation of the invisible fence has been completed the Covenants Administrator must be notified so a post installation inspection can be performed.** Flags that mark the location of the signal emitting cable shall be installed and must remain at least until the post installation inspection has been completed. The corners of the lot must also remain identified / marked until the post installation inspection has been completed.

FIRE PITS: Fire pits are restricted to rear yards. Only one fire pit is permitted per lot. A **DRA** is not required to install a fire pit where the diameter is four (4) feet or less. Fire pits should meet all Prince William County Codes and may not be placed closer than 10 feet to a side or rear property line. Construction of a permanent fire pit requires PWC Zoning approval. The edging / wall surrounding in-ground fire pits must be stone and may not exceed 2 feet in height above the turf. All fire pits must be equipped with fire screens to prevent the discharge of embers or ashes.

FIREPLACES (Exterior): Fireplaces that are exterior the home or sunroom are not permitted.

FIREWOOD: No firewood may be stored openly outside of the home. See the topic "STORAGE" below.

FLAGS/FLAG POLES: Freestanding flagpoles are prohibited. Flagpole staffs that do not exceed 6 feet in length and are attached to the wall or pillar at the front or rear of the dwelling unit do not require a **DRA**. No flag shall have its longest dimension greater than 6 feet in length. The U.S. flag may be flown at any time on such poles per Federal rules for display of the flag. See the topic "**MAILBOXES AND POSTS**" regarding the display of small U.S. flags on mailbox posts.

FLOWER BOXES / PLANT HOLDERS/ HANGING BASKETS: If the following criteria are met, a **DRA** is not required. Deviations do require submission of a **DRA**.

- A. Permanently Mounted Window Boxes:** May be attached to windowsills, window trim, or below windows. The color of the box and mounting bracket must match one of the following colors: house trim color, siding color, white, or black. Proper maintenance of boxes and seasonal maintenance of plantings and removable liners is required.
- B. Temporary / Seasonal Window Boxes or Planters:** May be hung on windowsills and window mullions. They require proper maintenance to remove dead foliage. For allowed colors, see above. Proper maintenance of boxes and planters and seasonal maintenance of plantings and removable liners is required.

C. Boxes / Planters Mounted on Deck, Patio, and Unscreened Porch Railings. One flower box / planter may be installed for each section of railing. The color of such boxes is not restricted. Proper maintenance of boxes / planters and seasonal maintenance of plantings and removable liners is required.

D. Other Plant Holders / Hanging Baskets / Flowerpots: Proper maintenance of plant holders, hanging baskets, and flowerpots and seasonal maintenance of plantings and removable liners is required.

E. Artificial flowers are permitted in flower boxes, planters, hanging baskets, flowerpots, and etc. but they must be maintained in good condition.

FOUNDATIONS and BASEMENT STAIRWELLS: The exterior of a home must be maintained in an attractive manner. This includes the exposed (visible) portion of foundations and basement stairwells. During the construction of homes, the developer painted the exposed (visible) portion of foundations and basement stairwells of homes. The color used by the developer often matched the color of the house trim or a color that closely matched the color of the house's vinyl siding.

When foundations and stairwells are repainted, this same color scheme must be used. The Covenants Administrator has data that provides the foundation paint color for many homes in HH. If the data includes your home; you may proceed to paint your foundation and stairwell the color used by the developer without submitting a **DRA**.

If the data on file with the CA does not identify the paint color to be used, you must submit a **DRA** and paint swatch to the ARC for approval prior to proceeding with repainting your foundation or basement stairwell.

GAZEBOS: Gazebos are not permitted. They may not be incorporated into the design of decks or patios or be free standing in rear or side yards.

GENERATORS: Generators fueled by natural gas may be installed on the exterior of a home. Approval of a Design Review Application (**DRA**) is required prior to installation.

Homeowners are responsible for ensuring that generators comply with any applicable county, state, and federal codes and requirements. The Prince William County website states that all generator installations require approval of a permit prior to installing them.

Supporting documentation to be submitted with the **DRA** includes, but is not limited to, drawings, brochures, or pictures that allow the ARC to understand what the completed generator installation will look like. The minimum supporting documentation requirements include:

- A drawing with dimensions showing the planned location of the unit. The unit must be installed within 4 feet of the house foundation and as far to the rear of the house as practicable or at the rear of the house. The drawing shall show the relationship between the selected location and sleeping rooms of neighboring dwellings. Locations and dimensions dictated by Prince William County regulations should be clearly delineated.
- A copy of the Prince William County permit, including any stipulations imposed.
- A full description of the generator to be installed.
- Documentation showing that the noise output of the generator is consistent with the noise made by A/C or Heat Pump units and does not significantly exceed the PWC criteria of 60 dB(A) daytime and 55 dB(A) nighttime limits.

- A landscaping plan showing how the generator will be screened from view at the time of installation.



GOLF COURSE PROPERTIES: See “APPENDIX I”

GREENHOUSES/COLD FRAMES: Greenhouses are not permitted. A DRA for cold frames to be incorporated in rear yard vegetable/fruit gardens will be considered if they are of a size, material, color and design that that will not create a negative visual impression when they are closed or open. A landscaping plan may be required.

GRILLS: Grills must be located in the rear yard. They must be of a size and scale that is compatible with the home and lot, and they must be sited so as to minimize any adverse visual impacts on adjoining lots and to minimize visibility from the street. Grills should meet all Prince William County Codes. Wood burning grills, and their chimneys, must be equipped with fire screens to prevent the discharge of embers or ashes.

Moveable Grills: A DRA is not required for moveable grills. Moveable grills may be located on a deck, patio, or the turf. Grills located on the turf in rear yards must be located within 4' of the rear of the house when they are cool or the fire is out and they do not present a fire hazard. Grills located on the turf must be located behind the house and may not be located beyond the side plane of the house. If a small “landing” is desired to place the grill on, see item J, under Landscaping Modifications That Do Not Require a DRA.

Permanent / Fixed Grills: A DRA is required. Except for normally moveable grills that are attached to a natural gas line, permanent / fixed grills are not allowed.

GUTTERS AND DOWNSPOUTS & GUTTER GUARDS: All gutters and downspouts must conform in color and design to those installed originally. A DRA is not required to replace existing gutters and downspouts with gutters and downspouts of the same color or design. A DRA is not required to change existing gutters and downspouts from smaller 3” or 4” to a larger size provided the new gutters and downspouts are the same color and design as the existing ones. Any addition of new gutters or downspouts, or a change in location, configuration, or design of an original gutter or downspout, requires submission of a DRA. Gutter guards or helmets must match the existing color of either the gutters or the roof shingles as closely as possible.

Downspouts, splash blocks, piping, and tubing attached to downspouts and sump pump outlets must be located in such a manner that they do not to direct drainage onto neighboring properties except when it is the only way to direct it to established storm water swales. A DRA is not required to attach tubing up to 6 feet long to a downspout.



Splash blocks should be black, brown, or green plastic or unpainted concrete. Landscaping stone may be used at the base of downspouts in lieu of splash blocks to prevent washing out of earth and mulch. Such areas should be small – on the order of 2'x2' or less. All of the actions described in this paragraph may be undertaken without submission of a **DRA**.

Tubing and piping attached to downspouts or sump pump outlets must be buried whenever they extend beyond 6 feet from the connection to the downspout or sump pump outlet or extend beyond landscaping/mulched beds. Popup units may be installed at the end of drain tubes in sod areas. Whenever tubing / piping is to be buried in the lawn area, a DRA is required.



HANDICAP RAMPS: Handicap ramps may be installed on the exterior of a home if the owner/resident of the home requires a ramp in order to use the home and requests a reasonable modification by submitting a Design Review Application (**DRA**). Three types of ramps are discussed below. Each type of ramp has different requirements.

Homeowners are responsible for ensuring that handicap ramps comply with any applicable county, state, and federal codes and requirements. The Prince William County website states that all accessibility upgrades both interior and exterior (i.e., temporary ramps, permanent ramps, and wheelchair lifts) require approval of a permit prior to installing them. PWC assistance is available at 703-792-5298. Installation of a ramp in a garage does not require submission and approval of a **DRA**.

Temporary, Modular, and Removable Ramps:



A **DRA** must be submitted prior to installation of a temporary, modular, or removable ramp. Supporting documentation to be submitted with the **DRA** includes, but is not limited to, drawings, brochures, or pictures that allow the ARC to understand what the completed ramp will look like.

Applicants must also include a written certification that the ramp will be removed when it is no longer needed.

Appropriate landscaping will be required when ramps are planned to remain in place longer than 180 days. A landscaping plan must be included with the **DRA**.

Relative to sale of the home – retention of a handicap ramps similar to those pictured above is not automatic. The new owner must submit a **DRA** to retain the ramp.

Semi-Permanent Ramps:

A **DRA** must be submitted prior to installation of a semi-permanent ramp like those depicted below that are constructed over the existing walkway and porch. Supporting documentation to be submitted with the **DRA** includes, but is not limited to detailed drawings and specifications, brochures, or pictures that allow the ARC to understand what the completed ramp will look like. Appropriate landscaping will be required, and a landscaping plan must be included with the **DRA**.

At the time of re-sale, these semi-permanent ramps do not have to be removed. However, if a semi-permanent ramp is to be removed by the owner who installed it or a subsequent owner, a **DRA** must be submitted. The application must be accompanied by information that explains what will happen to the existing landscaping associated with the ramp and how the original walkway and porch/stoop will be re-established or revised.



Semi-Permanent Ramp built over the existing walkway and porch.

Permanent Ramps:

A **DRA** must be submitted prior to installation of a permanent ramp like the one depicted below that replaces the existing walkway and porch and provides a gentle slope from the driveway to the front door. Supporting documentation to be submitted with the **DRA** includes, but is not limited to detailed drawings and specifications, brochures, or pictures that allow the ARC to understand what the completed ramp will look like.

Appropriate landscaping will be required, and a landscaping plan must be included with the **DRA**.



HEDGES:

DEFINITION: a fence or boundary formed by a dense, closely spaced row of two or more shrubs, evergreens, or trees to enclose an area or form a physical or visual barrier. Shrubs, evergreens, or trees used for hedges must be consistent throughout and amenable to pruning to control growth.

GENERAL:

Hedges planted near property lines, including those surrounding patios, decks, and porches must be offset from the property line by at least one-half the mature width of the plants used. Except as stated below, hedges are not permitted in front or side yards. Hedges are permitted:

- As screening for storage under decks, porches, and sunrooms. See the topic “AREA UNDER ELEVATED STRUCTURES” above.
- As screening for hot tubs and spas. See the topic “Hot Tubs” below.
- In landscape beds adjacent to decks, porches, sunroom, and patios.
- In landscape beds adjacent to walkways and driveways.
- In rear yards.

Beginning with approval of these Guidelines all hedges, regardless of when they were originally planted, must meet these guidelines. Individual trees, shrubs, and evergreens not planted to create a hedge must meet the spacing guidelines for trees as stated in the topic trees.

The type of shrubs, evergreens, or trees used to create a hedge must be consistent throughout the length of the hedge. See Appendix VI for a listing of recommended shrubs, evergreens or trees for creating hedges.

Hedges or screens may be planted in landscape beds adjacent to patios, decks, and porches without submission of a **DRA** provided the outer edge of the landscaping bed is located a minimum of 10 ft. from a property line and the bed is no wider than 4 feet wide. If the outer edge of the landscape bed is less than 10 ft. from a property line, a **DRA** must be submitted so the ARC can examine the proposed plant list and other factors to ensure mature plants will not encroach on neighboring properties or common areas. Such hedges or screens must be kept neatly trimmed and must meet the following height and width criteria.

- **Decks/Porches/Sunrooms that are elevated 8’ or more from the natural grade:** Hedges or screens adjacent to these structures must be kept pruned so they are no taller than the band board and no wider / deeper than 3 to 4 ft. measured from the edge of the deck/porch or sunroom.
- **Decks/Porches/Sunrooms that are elevated less than 8’ from the natural grade:** Hedges or screens adjacent to these structures must be kept pruned so they are no taller than 8’ from the natural grade and no wider / deeper than 3 to 4 ft. measured from the edge of the deck/porch/sunroom.
- **Patios:** Hedges or screens adjacent to a patio must be kept pruned so they are no taller than 8 ft. from the natural grade and no wider / deeper than 3 to 4 ft. measured from the edge of the patio.

Hedges up to 3 ft. in height may be planted in landscape beds adjacent to driveways and walkways from the driveway to the front of the home without submission of a **DRA**. Such hedges must be kept neatly trimmed to a height of no more than 3 ft. in height from the natural grade and no wider / deeper than 3 to 4 ft. measured from the edge of the driveway or walkway.

Except as noted in the previous paragraph, planting of hedges in front or side yards is not permitted. Planting of hedges in rear yards, at any location other than the 4 foot zone adjacent to or abutting a patio, deck, porch or sunroom, requires submission and approval of a **DRA**. See the topic “Landscape Modification that Do Require a **DRA**” below. Shrubs, evergreens, and trees used in such hedges must

be consistent throughout. Approved hedges must be kept neatly trimmed to a height of no more than 4 ft. from the natural grade and no wider / deeper than 4 ft. measured from side to side.

HOT TUBS/SPAS: A **DRA** is required to install a hot tub or spa on the exterior of a home. Hot tubs or spas must be located in the rear yard and not exceed the side plane of the house. They must be located as close as possible to the rear wall or foundation of the house but no more than 3 feet from the rear wall or foundation. They may be installed at ground level on the turf or on a patio, on a deck, within an unscreened porch, or within a screened porch. Hot tubs and spas must meet PWC codes. A copy of the PWC permits must be attached to the **DRA**.

Cabinet and Cover Colors:

The exterior cabinet color of hot tubs or spas should be earth tone colors that are complimentary to the exterior colors of the house. Colors such as orange, pink, purple, etc. will not be allowed. Hot tub and spa covers should be of a solid neutral color.

Hot Tubs/Spas Recessed Into the Floor of Elevated Decks, Porches, or Sunrooms:

If a hot tub or spa is recessed into the floor of an elevated deck, porch, or sunroom it should be located as close as possible to the rear wall of the house but not farther than 3 feet away from the rear wall. The area under the deck, porch, or sunroom shall have lattice, siding, or landscaping installed to screen the area under the elevated structure. For decks with railings, the hot tub is considered to be screened by the railing. For porches with either a railing or a knee wall at least 3 ft. tall, the hot tub is considered to be screened by the railing or the knee wall.

Hot Tubs/Spas Installed on the Floor of Decks, Porches, or Sunrooms:

- Hot tubs or spas installed on the floor of decks with railings should be located as close as possible to the rear wall of the house but not farther than 3 ft. away from the rear wall. They are considered to be screened by the deck railing. If a railing is not present, see Landscaping Criteria for Hot Tubs and Spas below:
- Hot tubs or spas installed on the floor of unscreened porches should be located as close as possible to the rear wall of the house but not farther than 3 feet away from the rear wall. If a railing is present, they are considered screened by the porch railing. If a railing is not present, see Landscaping Criteria for Hot Tubs and Spas below.
- If an unscreened porch has a knee wall that is at least 3 ft. tall, the hot tub or spa is considered screened by the knee wall. If a knee wall at least 3 ft. tall is not present, see Landscaping Criteria for Hot Tubs and Spas below.
- Hot tubs or spas installed on the floor of screened porches are considered screened by the porch screening.
- Hot tubs or spas installed on the floor of sunrooms are not exterior hot tubs or spas and do not require screening.

Hot Tubs/Spas Installed Under Decks, Porches, or Sunrooms:

Hot tubs or spas installed under decks, porches, or sunrooms should be located as close as possible to the rear wall of the home but not farther than 3 ft. away from the rear wall. Hot tubs or spas installed under decks, porches, or sunrooms shall be screened at the time of installation. Screening may be achieved by one of the following methods:

- A. Lattice (See Lattice criteria above under the topic "Area Under Elevated Structures")
- B. Landscaping (See Criteria for Hot Tubs and Spas below).

- C. Installing a standard height railing, nominally 36 inches tall, on the patio around the hot tub or spa or at the perimeter of the patio.
- D. Installing a fence at least 3 ft. tall around the perimeter of the patio. This method may not be used on golf course lots.
- E. Plants in large pots **may** be approved as screens for hot tubs and spas located on patios on a case-by-case basis. The key consideration will be the number of potted plants to be used and their size at the time of installation.

Hot Tubs / Spas Installed on Patios Not Under a Deck, Porch, or Sunroom:

Hot tubs or spas installed on patios that are not under a deck, porch, or sunroom shall be located as close as possible to the rear wall of the home but not farther than 3 feet away from the rear wall. Hot tubs or spas installed on patios shall be screened at the time of installation. Screening may be achieved by one of the following methods:

- A. Installing a standard height railing, nominally 36 inches tall, on the patio around the hot tub or spa or at the perimeter of the patio.
- B. Installing a fence at least 3 ft. tall around the perimeter of the patio. This method may not be used on golf course lots.
- C. Installing landscaping on or around the perimeter of the patio. (See Landscaping Criteria for Hot Tubs and Spas below.).
- D. Plants in large pots **may** be approved as screens for hot tubs and spas located on patios on a case-by-case basis. The key consideration will be the number of potted plants to be used and their size at the time of installation.

Tubs/Spas Installed on Turf:

Hot tubs or spas installed in rear yards on the turf shall be located as close as possible to the rear wall of the home but not more than 3 feet away from the rear wall. They must be screened at the time of installation. Screening may be achieved by one of the following methods:

- A. Installing a fence at least 4 feet tall around and the hot tub or spa that is no more than 3 feet from the perimeter of the hot tub or spa. This method may not be used on golf course lots.
- B. Installing landscaping around the perimeter of the hot tub or spa. (See Landscaping Criteria for Hot Tubs and Spas below.).

Landscaping Criteria for Hot Tubs and Spas:

Landscaping used to screen hot tubs or spas must include a sufficient number of mature, dense, evergreen plants that are high enough (approximately 5-6 feet) and closely spaced to obscure visibility of the hot tub or spa cabinet at the time of planting when one is standing at the property line or beyond. The maximum height of the screening plants may not exceed 8 feet, measured from the turf. See Appendix VI for screening plants.

DRA Supporting Documentation Requirements:

An application requesting to install a hot tub or spa must include the following supporting documentation:

- 1. A plan view drawing showing where the hot tub will be placed.
- 2. A description of the tub/spa and the cover and how it is to be screened from view.
- 3. Copies of PWC permits.
- 4. If landscaping is to be used to screen the tub, a listing of the plants to be used.
- 5. The current and mature sizes of the plants to be used. The main consideration in approving the landscaping plan is whether or not the plants will adequately screen the hot tub or spa from view

beginning at the property line and beyond at the time the plants are installed. There cannot be a grow-in period. If plants die or become diseased so they no longer provide adequate screening, they must be replaced in kind with new plants that are also sufficiently mature. If an applicant desires to change an approved landscaping plan, a **DRA** is required.

IRRIGATION SYSTEMS: A **DRA** is not required to install an in-ground irrigation system. A PWC Building Permit is required because irrigation systems require the installation of a backflow prevention device. This device should be installed in the side yard, and if feasible, hidden by landscaping.

LAMP POSTS: See “**POST LIGHTS**”

LANDSCAPING - Definitions:

Tree: A woody perennial plant, typically having a single stem or trunk growing to a considerable height. They generally have few or no branches on their lower part and bear lateral branches at some distance from the ground. For purposes of these guidelines, a crape myrtle variety that is expected to reach a height of more than 15 feet at maturity is considered to be a tree. Criteria related to the removal of existing trees and the planting of new trees is located under the topic **TREES** below.

Shrub: A woody plant smaller than a tree, usually having multiple permanent stems branching from or near the ground. A shrub is distinguished from a tree by its multiple stems and shorter height. Shrubs are usually less than 20 ft. tall. Plants of many species may grow either into shrubs or trees, depending on their growing conditions. For purposes of these guidelines, a dwarf crape myrtle variety that is not expected to reach a height greater than 15 ft. is considered to be a shrub.

Bush: A small, low shrub, generally less than approximately 7 ft. tall. Plants such as lavender, periwinkle and most small garden varieties of roses, are often termed sub-shrubs or bushes.

Annuals: Plants that perform their entire life cycle from seed to flower to seed within a single growing season. All roots, stems and leaves of the plant die annually. Only the dormant seed bridges the gap between one generation and the next.

Perennials: Plants that live for several years or for many years and have a life cycle that is more than two years long. Generally the top portion of the plant dies back each winter and re-grows the following spring from the same root system. Many perennial plants do keep their leaves year round and offer attractive borders and groundcover.

Fruit and Vegetable Plants: Fruit and vegetable plants such as corn, peas, tomatoes, beans, broccoli, lettuce, and etc. are not considered to be annual or perennial landscaping plants. Fruit and vegetable plants (in pots or in the ground) are not permitted in front and side landscaping. They are allowed only in rear yards. (See “**VEGETABLE GARDENS**” below).

Hedge: a fence, boundary, or screen formed by a dense, closely spaced row of two or more shrubs, evergreens, or trees to enclose an area or form a physical or visual barrier. Shrubs, evergreens, or trees used for hedges must be consistent throughout and amenable to pruning to control growth. See “**APPENDIX VI**” for a list of recommended shrubs, evergreens, or trees.

Landscape Edging: For purposes of these guidelines, landscape edging is defined as a border around approved landscape areas that is not be greater than approximately 6 inches above the lawn turf, drive, or walkway. Landscape edging must meet the criteria outlined below.

Landscape Decorative or Retaining Walls: Any border around a landscape bed or along a walkway or driveway taller than approximately 6 inches is considered to be a landscape decorative or retaining wall. Landscape decorative or retaining walls must meet the criteria outlined below.

Retaining Wall: A wall built to resist lateral pressure other than wind pressure; especially one to prevent an earth slide. Retaining walls may be associated with landscaping beds or may stand alone to simply change the elevation of a portion of a lot.

Stand-alone Landscape Feature: A stand-alone landscape feature may consist solely of a single large boulder or it may be a wall or column constructed of concrete, stone, or brick.

General:

- Landscaping changes the physical appearance of an area or a piece of land. The addition of plants, changes to the existing terrain, and the construction of structures are all part of landscaping. Landscaping is more than just scenery. It can offer aesthetic enjoyment, escapism, and tranquility. Nicely landscaped areas are pleasing to our senses and increase or maintain curb appeal and property values.
- Landscaping is not a pretty picture that, once painted, remains in place forever. It is a constantly growing and changing collection of living things. As outlined in the Preface and the “**MAINTENANCE**” Section above, landscaping must be maintained on a regular basis. This includes, but is not limited to, pruning to maintain appropriate size and shape, prompt removal of weeds and dead plants, and prompt removal and replacement of diseased and overgrown plants. Appendices V, VI, VII, VIII, and IX list plants and trees that are recommended for use in landscaping plans.
- All new trees, shrubs, and other plants must be located at least one-half of their width at maturity from the property line so they do not extend beyond the property line of the owner of the lot on which they are planted. New landscaping must be located so it can be maintained without intruding on adjacent properties or common areas. Existing trees and shrubs must be kept trimmed so they do not extend over property lines. Landscaping, new or existing, may not be allowed to encroach upon or negatively impact a neighbor’s property or common ground. In the event that a neighbor’s property or a common area is negatively impacted, the owner of the installed landscaping shall bear full responsibility for correcting the problem by pruning the landscaping or removing the plant or plants or their roots.
- No landscaping or improvement of any type may negatively impact drainage on neighboring lots or common areas. In the event that a neighboring property or common area is negatively impacted, the owner of the installed landscaping shall bear full responsibility for correcting the problems. No landscaping shall be planted or mulched areas created that will result in an imbalance of turf to planted or mulched area.
- In front yards, the total landscaped / mulched area shall not exceed approximately 25% of the total front yard area. Approximately 75% of the total front yard area shall remain turf.
- In side yards, a mowing strip must be maintained unless the landscape bed goes all the way from the foundation to the property line.
- In rear yards, the total landscaped / mulched area shall not exceed approximately 25% of the total rear yard area not occupied by decks, porches, patios, or sunrooms so that there remains a balance between turf and landscaping. It is not intended for this rule to be interpreted in a manner that would allow the installation of mulched dog run in a fenced rear yard.
- It is understood that many attached homes and some detached homes have very small rear yards that may be mostly occupied by a deck, porch, patio, or sunroom. Therefore, the requirement for landscaped and mulched areas to not exceed 25% of the rear yard area not occupied by decks, porches, patios, and sunrooms will be addressed on a case-by-case basis.
- Hedges, as defined above, are permitted in specific locations and with specific limitations on height and width as outlined in the topic “Landscaping Modifications” below:

- Spacing requirements for new or replacement trees in yards is discussed under the topic “**TREES**” below. Spacing of new or replacement shrubs, annuals, and perennials should follow the horticultural guidelines provided with the plants. Horticultural planting guidance is also available from nurseries and on the web.
- Timbers or boards may not be used on property lines and they may not be used anywhere in front yards. As outlined in the topic “Landscaping Modifications that Do Require a **DRA**” below, timbers or boards may be used in rear yards and specific side yard locations.
- All turf areas on a Lot shall be planted in, seeded, reseeded, sodded, re-sodded, in Cool-Weather Grasses as defined in paragraph l of the DEFINITIONS section above. Warm-Weather Grasses, as defined in paragraph m of the DEFINITIONS section above, or other similar invasive grasses are strictly prohibited from being used, installed, seeded, reseeded, sodded, re-sodded, or otherwise planted on Lots or in any turf areas on Lots. All turf areas on a Lot must be kept free of Warm-Weather Grasses and Weeds as defined in DEFINITIONS sections m and n above and as outlined in Section G. Property Maintenance Standards items 3 and 4 above.



PWC Environmental Services must approve any landscaping that will be within a storm water easement. The applicant must submit an approved PWC application for Construction in a Storm Water Management Easement along with a plat or housing location survey showing the exact location of the landscaping feature or planting. The PWC application is available on the PWC website (www.pwcgov.org).

PWC Service Authority must approve any landscaping that will be within a sanitary sewer easement. The applicant must submit an approved PWC application for Construction in a Storm Water Management Easement along with a plat or housing location survey showing the exact location of the landscaping feature or planting. Information from PWC Service Authority is available at Customer Service 703-335-7950.

Protection of Landscape Plants: Light weight and visually unobtrusive black or green plastic netting like the ones shown below may be used to protect landscape plants anywhere on the lot. Light weight galvanized poultry / rabbit netting with 1” or 2” holes may also be used if the netting is painted black. Protective netting and support posts / stakes may not be taller than 4 feet. Support posts / stakes may not be taller than the netting they support. A **DRA** is not required. If netting is to be supported by hoops that are more than one foot above the turf, a **DRA** is required. See the discussion regarding support posts / stakes and hoops below.

For low-growing landscape plants, such as pansies, netting with aluminum support hoops like those used by the common area landscaper and pictured below may be used.

$\frac{3}{4}$ " X $\frac{3}{4}$ " bird netting



$\frac{3}{4}$ " X $\frac{3}{4}$ " deer netting



For taller plants support posts / stakes and hoops may be made of wood, metal, plastic, fiberglass, etc. as shown below. Support posts / stakes can be no higher than 4 feet above the turf all and may not have a diameter larger than 1" by 1". Support hoops may also be made of wood, metal, plastic, fiberglass, and etc. They also may not have a diameter larger than 1" X 1". Support posts / stakes or support hoops must be green or black. If the netting is black, the support posts / stakes or hoop must be black. If the netting is green, the support posts / stakes or hoops must be green. Wooden and concrete reinforcing rod support posts / stakes may not be left natural; they must be painted or stained so they blend with the color of the netting. See the topic **"VEGETABLE GARDENS"** for a discussion of hoops and horizontal netting supports.



1" x 1" wooden stakes must be painted or stained black or green to match the color of the netting.



Metal stakes with green powder coating netting.



Green fiberglass / plastic stakes



Concrete reinforcing rod must be painted black or green to match the color of the netting.



Metal stakes painted green



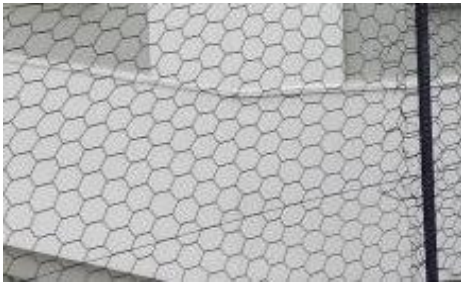
Black metal stakes



Plant Props



Black wooden stake



1" X 1" rabbit / poultry netting painted black with black 1/2" rebar support



3/4" x 3/4" netting with black 1" x 1" wood supports

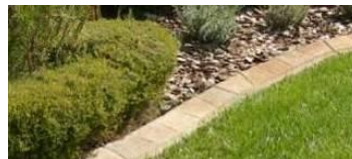
Netting and support posts / stakes and hoops used to protect landscaping must be kept in good condition at all times and removed when they no longer present an aesthetically pleasing appearance.

Other screening materials and support posts / stakes and hoops may be approved on a case-by-case basis. Heavy weight and visually obtrusive screening materials such as bamboo screening, barbed wire, welded wire fencing, very dense PVC screening, and welded wire fencing intended for the control and restraint of animals that do not have an aesthetically pleasing appearance or create visual barriers will not be approved. Heavy metal, wooden, or PVC fence posts will not be approved.

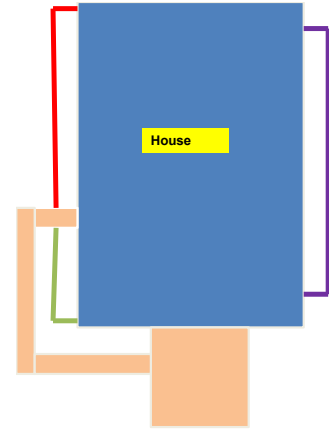
LANDSCAPE EDGING: For purposes of these guidelines, landscape edging is defined as a border around approved landscape areas to create visual interest in the landscaping and create a transition that separates lawn areas from landscaped areas that contain mulch and to prevent encroachment of weeds and grasses into landscape areas. It is also defined as a border along driveways and walkways.

The top of completed edging shall not be greater than approximately 6 inches above the lawn turf, drive, or walkway. If it meets this, and the other criteria below, a **DRA** is not required.

Landscape edging may be only a shallow trench or it may be made of metal (steel or aluminum in dark green or brown), plastic (black or dark green), resin, brick, stone (natural or synthetic), stamped concrete, concrete, "stone like" concrete, or pavers. See the examples below. Wood or looks-like wood, pressure treated pine, landscape timbers, railroad ties, and bamboo edging may not be used in front or side yards or at property lines. Wood may be used for edging in rear yards provided it is no more than one timber or board high and is left natural. Bamboo edging may not be used anywhere.



Multiple types of edging materials may not be mixed and two types may not be used side-by-side or back-to-back as shown in the picture on the left below. The design concept is not that every edging around the house has to be of the same material, but that each one has to be of a single material end-to-end. In the right sketch below, the green, red, and purple lines all represent a single edging consisting of a single material. The material used in edging around trees and landscape beds in yards does not have to match the edging material used around the landscape beds adjacent to the house, patio, or deck.



Decorative fencing: Installation of decorative fencing, similar to the examples shown below, is not allowed as a border/edging anywhere. Decorative fencing may be used within an approved landscape area as a decorative object. See “**DECORATIVE OBJECTS**” above.



LANDSCAPING MODIFICATIONS THAT DO NOT REQUIRE A DRA

A. Landscape Beds Up To 4 ft. Wide around the House Foundation:

Installation of beds or modification of existing beds up to 4 feet. wide around the perimeter of the house foundation does not require a **DRA**. Installation of beds that protrude outward more than 4 feet from the house foundation at any point requires a **DRA**. Also see “**HEDGES**” and “**LANDSCAPE MODIFICATIONS THAT REQUIRE A DRA**”.

A 24-inch mowing strip between the landscaping/mulched area and the property line must be allowed unless the landscaping/mulched area extends to the property line. (Note: To avoid damage to house siding, it is recommended that plants and/or trees planted in this area be limited to a mature height of less than 8 feet and a mature width of less than 4 feet. Remember that plants do grow to a mature size. Avoid over planting of landscape beds.)

B. Landscape Beds Up to Than 4 ft. Wide Adjacent to Patios, Decks and Porches:

Installation of beds or modification of existing beds up to 4 ft. wide adjacent to or abutting patios, decks, and porches does not require a **DRA** provided the following criteria are met and maintained. Installation of beds that protrude outward more than 4 feet from the patio, deck, or porch at any point requires a **DRA**. Also see “**HEDGES**” and “**LANDSCAPE MODIFICATIONS THAT REQUIRE A DRA**”.

Landscape Beds Up To 3 ft. Wide Adjacent to Driveways and Walkways:

Installation of beds or modification of existing beds up to 3 ft. wide adjacent to driveways and walkways from the driveway to the front of the home do not require a **DRA** provided that the plants have a mature height of 3 ft. or less and are maintained at that height. Landscape beds that are wider than 3 feet at any point from the driveway or walkway or contain plants taller than 3 feet require a **DRA**. Also see “**HEDGES**” and “**LANDSCAPE MODIFICATIONS THAT REQUIRE A DRA**”.

C. Landscape Beds around Mailbox Posts:

See “**MAILBOXES AND POSTS**” for criteria associated with these beds.

D. Landscape Beds around Transformers and Utility Boxes:

Installation of beds or modification of existing beds around transformer/utility boxes does not require a **DRA** provided that plants have a mature height of 6 ft. or less and are maintained at that height. [Note: Utility companies have access easements and restrictions regarding landscaping around utility boxes. Residents are advised to check with the utility company prior to planting around transformer/utility boxes. If utility companies need to gain access to boxes, owners can expect the landscaping to be disturbed or destroyed.]

E. Planting of Annuals and Perennials:

Planting of annuals or perennials that have a mature height of 3 ft. or less in landscape beds adjacent to or abutting house foundations, patios, decks, porches, or sunrooms or in existing landscape beds does not require a **DRA**. Annuals must be removed at the end of their growing season and perennials must be kept pruned / trimmed and maintained.

F. Installation of Stone Products:

Installation of small landscape stone, lava rock, river rock, and similar stone products in the following locations does not require a **DRA**.

- In a two foot by two-foot area at the outlet of downspouts, A/C condensation pipes and sump pumps.
- In a two foot by two-foot area around mailbox posts.
- Under decks to act as ground cover.
- Within approved landscape beds.

Installation of individual stones up to approximately twelve inches by twelve inches by twelve inches maybe used as “accent” stones in approved landscape beds and does not require a **DRA**.

Installation of pavers and flag stones in the following locations does not require a **DRA**.

- In an area not to exceed approximately 3 ft. outward from the house foundation to approximately 4 ft. wide under hose bibs on the side or rear of homes.
- In an area not to exceed approximately 4 ft. by approximately 6 ft. in rear yards to create a pad under grills, compost bins, and rain barrels. These pads shall not exceed the side plane of the house and shall abut the rear wall of the house.
- In an area not to exceed approximately 4 ft. by 6 ft. that acts as a landing for a deck, porch, stairs, or patio. These areas may exceed the side plane of the house but may be only one paver or flag stone high.
- To create a pad for A/C or heat pump units located on the side or rear of the house.
- As steppingstones within landscape beds. Such steppingstones may only be one paver or flag stone high placed flat on the ground.

G. Installation of Mulch:

Installation of a layer of mulch (typically organic or rubberized material) in landscape beds and around shrubs, bushes, and trees does not require a **DRA**.

H. Installation of Landscape Edging ~ 6 Inches Tall:

Installation of landscape edging approximately 6 inches, or less, tall as described above does not require a **DRA**.

LANDSCAPE MODIFICATIONS THAT DO REQUIRE A DRA:

All landscaping modifications, other than those discussed in 3.A through 3.I above, including but not limited to the following, require the submission of a **DRA**. If there is any doubt whether a **DRA** is required, submit a **DRA** or consult with the Covenants Administrator or a member of the ARC prior to proceeding with the installation of landscape modifications.

DRAs should specifically identify all trees, shrubs and other plants by genus, species, and variety and should specify their approximate height and width (spread/drip line) at maturity. If walls or structures are included in the landscaping plan, they must be fully described, to include the materials to be used. Stand-alone landscape structures and retaining walls must be fully described, to include materials to be used.

- A. Removal of grass and replacement with mulch, gravel or some other type of ground cover, except in the case of the pre-approved locations mentioned in 3.A through 3.I above requires a **DRA**. Planting of invasive ground covers will require installation of a barrier to preclude invasion into homeowner lawn areas, neighbor's lawn areas, or common areas.
- B. Installation of landscape beds that protrude outward from the house foundation more than 4 feet at any point requires a **DRA**. A 24 inch mowing strip between the landscaping/mulched area and the property line must be allowed unless the landscaping/mulched area extends to the property line.
- C. Installation of landscape beds that protrude outward from the patio, deck, or porch more than 4 ft. at any point requires a **DRA**. A 24 inch mowing strip between the landscaping/mulched area and the property line must be allowed unless the landscaping/mulched area extends to the property line.
- D. Installation of hedges or screens or other shrubs or trees in landscape beds adjacent to patios, decks and porches where the outer edge of the landscaping bed is less than 10 feet from a property line. The **DRA** is required so the ARC can examine the proposed plant list and other factors to ensure mature plants will not encroach on neighboring properties or common areas.
- E. Installation of landscape beds adjacent to walkways and driveways that are wider than 3 ft. at any point and contain plants taller than 3 ft. or involves the creation of a hedge requires a **DRA**. Hedges taller than 3 feet are not permitted in these landscape beds. Shrubs, evergreens, and trees planted in these beds that are taller than 3 feet must be spaced so that at maturity there will remain an open space equal to at least one half of the width of the widest mature shrub, evergreen, or tree.
- F. Installation of hedges in rear yards at any location other than the 4 foot zone adjacent to or abutting a patio, deck, or porch. Shrubs, evergreens, or trees used in such hedges must be consistent throughout and should be selected from plants found in appendix VI. Approved hedges must be kept neatly trimmed to a height of no more than 4 ft. from the natural grade and no wider / deeper than 4 ft. measured from side to side.
- G. Installation of landscape timbers or boards. Timbers or boards may not be used at property lines or at any location in front yards. Railroad ties are not permitted. Landscape timbers or boards must be left natural in color, not stained or painted. Timbers or boards may not be more than 12 inches high measured from the turf.

Timbers or boards may be used in the following applications:

- To aid in preventing soil erosion in rear yards or create an edging/border around rear yard landscaping or vegetable gardens. Such installation does not require a **DRA**.
 - To aid in preventing soil erosion around pads for A/C and heat pump units and generators. Such Installation requires approval of a **DRA**.
 - To aid in preventing soil erosion in side yards. Such Installation requires approval of a **DRA**
- H. Installation of landscape decorative or retaining walls around a landscape bed or along a walkway or driveway taller than approximately 6 inches requires a **DRA**.

Concrete, stamped concrete, stone, pavers, and brick may be used to create a wall for landscape areas or retaining walls. The color of the concrete, stamped concrete, stone, or brick used shall be consistent with the design characteristics of the home. Landscape or decorative or retaining

walls shall not exceed 2 ft. in height. The depth of landscape or decorative walls or retaining walls shall not exceed 2 feet. Landscape edging approximately 6 inches tall and decorative or retaining walls may abut landscape decorative or retaining walls as shown in the top left picture below.



To the left are a landscape decorative / retaining wall. To the right of the wall is landscape edging.

Landscape retaining wall



- I. A. Any modification to a lot that involves construction or that results in a grade change, including but not limited to walls and retaining walls not associated with landscaping, requires a DRA and may require a PWC Building Permit. The height and width of walls and retaining walls shall be appropriate to the earth being held back.



- B. Installation of stand-alone landscape structures consisting solely of concrete, stone, brick, or a single boulder, such as those shown in the pictures below, require a DRA. Such structures shall not exceed ~3 ft. in height or ~3 ft. in width and depth.



PLANTING OF NEW TREES: See “TREES” for criteria.

STAKING TREES AND SHRUBS: Staking of newly planted trees and shrubs that do not need it can do more harm than good. Movement of the trunk helps strengthen it by thickening it and giving it a taper from top to bottom. Staking may result in a weaker trunk. Trunk movement also stimulates root growth. Staking of newly planted trees and shrubs is usually not necessary if the tree or shrub is properly planted and the selected tree or shrub has a well-developed root ball. However, staking may be required on a temporary basis due to improper planting, shallow roots or poor soil conditions or if the root ball of the selected plant is small in proportion to the height of the plant.

There are many websites that discuss the pros and cons of staking and provide advice regarding the proper materials and techniques. Three are listed below.

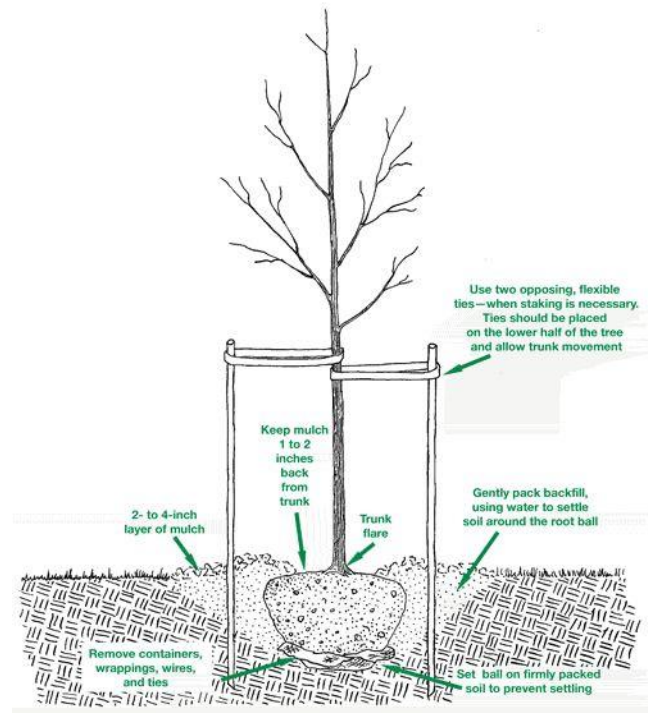
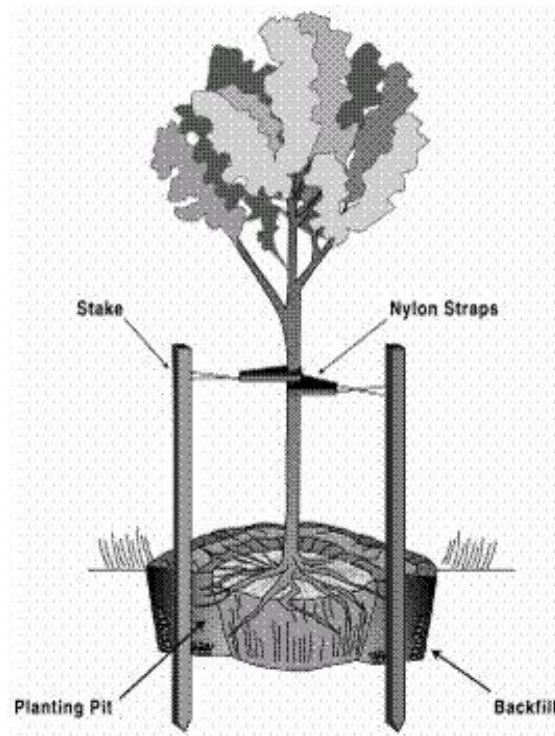
<http://www.finegardening.com/stake-or-not-stake>

<http://www.ext.colostate.edu/mg/Gardennotes/634.html>

<http://www.myminnesotawoods.umn.edu/2008/12/staking-and-guying-trees-best-materials-and-technique/>

Staking of trees and shrubs can create a negative visual and aesthetic appearance. Therefore, staking should only be undertaken when required and the stakes should be removed as soon as the tree or shrub has demonstrated that the support is no longer required. Most stakes can be removed after 12 – 18 months. Typically, one or two stakes are sufficient to support newly planted trees and shrubs. If one stake is used, stake upwind. To provide consistency of staking techniques and materials and minimize their negative visual and aesthetic impact, the following guidelines are established. As of publication of these guidelines, these criteria apply to all new and all existing tree and shrub stakes.





For smaller trees and shrubs where the trunk diameter is less than 3 inches, green PVC stakes, ½ inch reinforcing rods, or 1" X 1" wooden stakes may be used. For larger trees and shrubs where the trunk diameter is greater than 3 inches, 2" X 2" wooden stakes may be used. The maximum height of stakes measured from the turf is 4 feet. Wooden stakes may be left to age naturally or painted black or dark green. Reinforcing rods must be painted black or green. The use of any other type of stake is not allowed unless previously approved by the ARC. When two stakes are used, and where it is feasible to do so the stakes should be placed parallel to the pedestrian walkway or the front plane of the house.



Web articles suggest a variety of ties, bicycle tire tubes, wire inside a garden hose, etc., but one that has been proven to perform well and is not obtrusive is a Velcro tree tie. Ties should be inspected and adjusted frequently to ensure they are not rubbing the bark off of the plant or constricting trunk growth.

LAWN EQUIPMENT/OUTDOOR FURNITURE/CHILDREN'S PLAY EQUIPMENT

1. **Equipment:** All equipment used in maintaining property, must be removed from the lawn each day and stored out of sight. This includes rakes, lawnmowers, shovels, etc. Open storage of this equipment under un-screened decks, porches, and sunrooms or on patios is not permitted. See the topic "STORAGE" below.
2. **Furniture:** **In consideration of your neighbors:**
 - A. Lawn furniture, picnic tables, benches, Adirondack chairs, swings, hammocks, etc. that is not on a patio, deck, or porch and not approved for permanent display on lawns must be removed from lawns on a daily basis and stored out of sight.

- B. Children's swing sets and permanent play equipment are prohibited. Portable play equipment such as children's pools, basketball hoops, and other play equipment must be removed from lawns, and patios and decks without railings, on a daily basis and stored out of sight.
- C. Swings and hammocks are permitted to be placed permanently on patios, decks, or porches and under raised decks/porches/sunrooms with patios as described below.

LIGHTING: If the style and size of any replacement coach, post, porch, or rear coach light fixture or eave soffit mounted flood light does not meet the criteria outlined below, a **DRA** is required. Any other changes to lights or installation of additional fixtures must be approved by the ARC.

1. **Front Coach and Post Light Fixtures:** To maintain the architectural integrity of the community as developed by U.S. Homes/Lennar, the pole of post lights must be black. Post light fixtures, and garage coach light fixtures must be brass, bronze or black in color. Post light fixtures and garage light fixtures shall all be the same color. While the design of post light fixtures and coach light fixtures do not have to be the exactly the same, their designs should be complimentary.

Light fixtures that are 18 inches high by 9 inches wide, or less, may be installed without a **DRA**. For post light fixtures, the collar that fits over the post is not included in the 18-inch measurement. See picture below. If larger fixtures are desired, a **DRA** must be submitted. Larger fixtures will be evaluated in terms of size and compatibility with fixture designs in the neighborhood and the community. Garage coach light fixtures can be a style that can be accessed from underneath to facilitate easy changing of the light bulb. **Light fixtures may have only clear or white glass. Colored glass is not allowed**



2. **Front / Side Main Entrance (Porch) Ceiling Light Fixtures:** Light fixtures meeting the criteria below may be installed without submitting a **DRA**. If light fixtures are desired that do not meet these criteria, a **DRA** must be submitted. Larger light fixtures will be evaluated in terms of size and compatibility with fixture designs in the neighborhood and the community. Front / side main entrance ceiling light fixtures must be black, bronze or brass in color. The color must be the same as the color of the post lamp. Ceiling mounted light fixtures may be flush with the porch ceiling. Hanging style light fixtures like those installed by U.S. Homes/Lennar that attract birds are not required. Porch ceiling light fixtures must have only clear or white glass. Colored glass is not allowed. Hanging lights may not hang more than 18 inches from the ceiling or be more than 9 inches wide.
3. **Rear Coach Light Fixtures:** Light fixtures meeting the criteria below may be installed without submitting a **DRA**. If light fixtures are desired that do not meet these criteria, a **DRA** must be submitted. Rear coach light fixtures may be brass, bronze, black, white, or match the house trim color. Rear coach light fixture size is limited to no more than 18 inches high by 9 inches wide. Light fixtures must have only clear or white glass. Colored glass is not allowed. Larger light fixtures will be evaluated in terms of size and compatibility with fixture designs in the neighborhood and the community.
4. **Eave/Soffit Mounted Flood Lights:** Eave/soffit light fixtures that meet the criteria below may be installed without submitting a **DRA**. The exterior of eave/soffit mounted lights must be one of the following colors - white, silver, the house trim color, or the color of the eave/soffit.
5. **Exterior Light Direction:** No directional exterior lighting, including eave/soffit mounted lights, shall be directed outside of the applicant's property. Proposed additional lighting will not be approved if it will result in an adverse visual impact to adjoining neighbors or common grounds due to location, wattage or other features.

6. **Light Bulb and Glass Color:** All exterior lights shall be limited to non-colored bulbs except yellow “bug” lights are allowed. Only clear or white glass is allowed. Colored glass is not allowed.
7. **Landscape Lights:** The top of regular voltage, low voltage and solar landscape lighting shall not exceed 18 inches in height above the surface in which they are implanted per fixture. Color shall be solid black, silver, dark brown, green, copper, or satin nickel and harmonious with the house and landscaping. The color of lights that are used should be consistent and not a mixture of the approved colors. A mixture of styles in a group is not allowed.
8. **Fence Lights:** Lights may not be installed anywhere on fences. This includes the attachment of low voltage or solar lights to the top, interior, or exterior of fence posts or pickets.
9. **Bulb String Lights:** Permanent or prolonged installation of clear or colored bulb string lights as illustrated below is prohibited.



LIGHTNING PROTECTION: Lightning protection systems are permitted and submission of a Design Review Application (**DRA**) for approval is not required; however, the Board of Directors and the Architectural Review Committee strongly recommend that if a lightning protection system is installed that:

1. It is installed in accordance with the National Fire Protection Association (NFPA) Code 780.
2. It is installed by a certified installer.
3. The homeowners obtain an Underwriters Laboratories Master Label Certificate or a Lightning Protection Institute Master Certificate.

It is the homeowner's responsibility to obtain appropriate County permits and ensure that required inspections are carried out.

Should lightning strike any home in the community, with or without a lightning protection system, the HH HOA assumes no responsibility for the damage that may occur to the home that is struck or adjoining or nearby homes.

MAILBOXES: Curbside, post mounted, plain and unadorned USPS approved mailboxes must be used. Mailboxes shall be solid black in color without any attached decorative objects or covers, except numerals, letters, seasonal decorations and plaques as described below.

The pictures below show the mailbox designs allowed in Heritage Hunt. Installation of a mailbox that is the same as one of the nine pictures does not require the approval of a **DRA**. The “lunch pail” design in the upper row is preferred, but the other designs shown are acceptable. Heavy duty, oversized, and locking type boxes are also acceptable as long as they conform to the “lunch pail” design. Oversize and locking type boxes that do not conform to the “lunch pail” design require submission and approval of a **DRA** prior to their installation.

Numerals indicating the house number shall be placed on both sides of mailboxes except for clustered mailboxes. (See below where mailboxes are clustered) The height of these numerals must be no less than two inches and no more than four inches. If stick-on numerals are used they shall be rectangular. Numerals on both sides of the mailbox must match in size and color.

If mailboxes are “clustered” for a pipe stem and if either side of the mailbox is not accessible, numerals indicating the house number must be placed on the door of the mailbox. Numerals on the door of the mailbox must be rectangular and at least one inch tall and no taller than two inches.

Numerals on the mailbox may be black on white background, black on silver background, or white on a black background. Other color combinations such as black on gold or brass and brass or gold on black are not allowed. Reflective numerals are recommended to assist emergency responders.

An alternative to placing numbers on both sides of the mailbox or door is to install a numbered plaque on the top of the box that has numerals on both sides such as the one pictured below. A DRA is required to install a house number and/or name plaque on top of a mailbox. See the language below regarding number and/or name plaques.

Mailboxes may be decorated for the nationally recognized holidays/celebrations as discussed in the section entitled “Seasonal Decorations”. The install and remove dates outlined in the “Seasonal Decorations” section also apply to decorations attached to mailboxes.

Mailboxes must be maintained in good condition. Mailboxes that are damaged or have become rusty must be repainted or replaced. Plastic or metal mailboxes that have faded significantly must be repainted or replaced. If numerals are installed, the numerals must be kept in good condition. Peeling letters and numerals must be replaced.

Standard size “lunch pail” box
with numbers



Standard post and “lunch pail”
box



Oversize “lunch pail” box



Submission and approval of A **DRA** is required prior to installation of a house number and/or name plaque. House number and/or name plaques will be considered on a case-by-case basis.

Acceptable plaques shall be no more than 4 inches in height and shall not be longer than the mailbox it is mounted on. Plaque colors may be: 1) black background with white lettering, 2) black background with brass lettering, or 3) white background with black lettering. The background may be reflective.



MAILBOX POSTS: Replacement mailbox posts shall be the wood and pressure-treated pine style that is shown above in the picture titled – “Standard Post and “Lunch Pail” Box. It is understood that the developer used posts of a slightly different design in some cases. Whenever an existing post requires replacement, the standard post pictured above must be used. Posts must be kept free of the buildup of moss, algae, mold, and dirt and kept in an upright position.

Mailbox posts may be left natural or may be treated with a clear sealer. If the use of paint or stain is desired, only a brown earth tone or black stain or paint should be used. If a color choice is in doubt, submit a **DRA** or seek guidance from a member of the ARC or the Covenants Administrator. **The Covenants Administrator has the formula for an “earth tone brown” paint that can be mixed by Lowes and other paint suppliers.**

Stick on numerals indicating the house number may be placed on one or both sides of the mailbox post. The maximum height of these numerals is four inches. Numerals on the post may be black on white background or white on a black background. Submission of a **DRA** is not required to install this type of numerals. Brass plaques or other types of numerals require submission and approval of a **DRA** prior to their installation.

Planting beds, mulch, or rock aggregate may be installed around mailbox posts without submitting a **DRA** provided the bed does not exceed 2 ft. in each direction from the center of the post. If a larger area is desired, a **DRA** is required. Plants installed in such beds should: (1) be low growing, (2) be kept neatly trimmed and maintained, and (3) not be allowed to be taller than the bottom of the mailbox.

Mailboxes and posts may be decorated for the nationally recognized holidays/celebrations as discussed in the section entitled “**SEASONAL DECORATIONS**”. The install and remove dates outlined in the “Seasonal Decorations” section also apply to decorations attached to mailboxes and posts.

METAL ACCENT ROOFS: See the topic “ROOFS and SHINGLES” below.

PAINTING: A **DRA** is not required to repaint or re-stain an object to match the original color used by the developer or a color approved by the ARC. However, all exterior color changes require **submission of DRA**. This requirement applies to siding, doors, garage doors, shutters, trim, roofing and other appurtenant structures. Most exterior paint colors are on file with the Covenants Administrator at the Marsh Mansion.

PATIOS: A **DRA** is required to install a patio. PWC states that all patios also require a PWC zoning permit because they remove permeable area and increase the load on storm water systems.

- Patios are ground level concrete, stone, gravel, brick, paving stone, wood, or composite surfaces.
- Patios shall abut the rear plane/foundation of the home in the same manner as decks, porches, and sunrooms, and shall not extend beyond the side plane of the house. Patios may be formed around basement window wells. Basement stairwells and stairway walls are considered to be a part of the house foundation. Island patios are not permitted. A flat, ground-level landing for stairs or steps not to exceed 4' X 6' may be installed in the side plane of the house. If a patio requires one or more stairs to get from the walking surface of the patio to the turf, the stair is considered an integral part of a patio, and it may not exceed the side plane of the house. Side yard locations for patios will not be approved. (Note: The side plane of a home does not include bay windows or other bump-outs). Patios may be located under decks, porches, and sunrooms.

Privacy screening / walls **may** be permitted on a case-by-case basis for attached homes only. See the topic Privacy Screens / Walls below.

The color of patio finishes, and materials shall be reviewed on an individual basis. Patios, and the finishes and materials used must, in the opinion of the ARC, be harmonious in terms of type, size, scale, form, color and material with the house and the surrounding area .

Patio walls shall not exceed 24 inches in height from the walking surface and stand-alone or attached columns shall not exceed 30 inches in height above the walking surface or be more than 24 inches in diameter in each direction.

The top of walls and columns shall be flat with no more than a 2-inch overhang. Lights and/or decorative items shall not be permanently installed on top of walls or columns. Small lights may be installed in the face of walls facing the house. Small lights may also be installed horizontally at the perimeter of patios, so the light shines up or toward the rear of the house.

Pergolas, as described below, may be incorporated into the design of existing and new patios. In no case may the overhead timbers (beams) of a pergola extend outward from the rear wall of the house more than 16 feet. Pergolas may not extend beyond the side plane of the house.

PWC Zoning states that any patio with a walking surface more than 8 inches above the natural turf will require installation of one or more steps and also require a minimum setback of 5 ft. from the rear property line.

PWC states that patios that have walking surfaces more than 30 inches above the turf require a railing. See the topic “**RAILINGS**” below and “**APPENDIX IV.**”



Broom Finished Cement



Flagstone



Multi-Level



Stamped Concrete



Sitting Walls and Columns



Pavers

PERGOLAS: A **DRA** is required to install a pergola. Supporting documentation required includes a detailed plan view drawing; right, left, and rear view elevation drawings; a description of the materials to be used; and a statement of the whether the color will be white or match the house trim as closely as possible.

- A pergola is a structure consisting of parallel colonnades supporting an open roof of (timbers) beams and cross rafters to provide shade. Pergolas may be integrated into the design of a deck or patio. Pergolas may not extend beyond the side plane of the house. If the rear plane of the house allows it, pergolas must be attached to or abut the rear of the house. If the rear plane of the house does not permit the pergola to be attached to the house, it must be as close to the house as is allowed by PWC building and zoning codes. Pergolas must meet all Prince William County (PWC) construction permitting and zoning requirements. A copy of the PWC zoning permit must be attached to the **DRA**. The maximum height of the top of the finished pergola shall not be more than 10 feet from the walking surface of the deck or patio it is constructed on.
- The overhead timbers (beams) of a pergola may not extend outward from the rear wall of the house more than 16 feet. Columns supporting the overhead timbers of a pergola may be square or round and not less than 6 by 6 inches.
- A pergola shall extend no farther from the rear wall of the house or be wider than the deck or patio on which it sets. Trellises and lattices may not be incorporated into pergolas. Pergolas may not be used to support climbing greenery. The beams of pergolas may be used to hang up to 4 objects such as hanging baskets, bird feeders, wind chimes, etc. Hanging baskets should be removed at the end of the growing season.
- Shade canopies and awnings specifically designed for pergolas may be incorporated into the roof of pergolas; however, they shall be a solid light or neutral color or a color that matches the color of the house or trim or siding as much as possible.
- The color of all vertical and horizontal elements of a pergola, when constructed on a patio, shall be white or the color of the house trim.
- The color of all vertical and horizontal elements of a pergola constructed on a deck shall match the color of the vertical elements of the deck. Installation of a pergola on an existing deck is a major change to the deck. Therefore, deck color may need to be upgraded to meet the criteria in these guidelines regarding decks.

Pergolas should be constructed of weather resistant materials that hold their shape and retain a good appearance over a long period of time such as very high-quality pressure treated pine, composite, red cedar, red wood, vinyl, or metal. When making a choice of materials, applicants should be aware that the use of wood may result in a significantly greater need for maintenance and on a more frequent basis. Shown below are examples of pergolas that are deemed to be appropriate for installation in Heritage Hunt.



Pergola is offset from rear wall of house due to basement stairwell but abuts the rear wall bump out.



Pergola is attached to the bump out in rear wall of house.



Pergola is attached to the rear wall of house.

PONDS: All ponds require a **DRA**. Ponds are restricted to the rear yard of the home. Applications must include a drawing showing at a minimum such features as the height (no more than 2-3 feet), width (maximum of 6 feet), length (maximum of 8 feet) and depth of the pond (maximum of 18 inches) and the intended landscaping. Applications will address the possible noise level of flowing

water. Applications for ponds will be evaluated regarding general appropriateness, size, location, drainage, integration with landscaping or other features such as patios, architectural design, and visual impact on the neighborhood and surrounding area. Ponds must be maintained in a clean and good working order at all times.

PORCHES (OPEN, SCREENED, AND ENCLOSED):

General:

- Construction of a porch requires Prince William County permits.
- Construction of a new porch requires submission and approval of a Design Review Application prior to beginning construction. See “**PORCH CRITERIA**” below.

Drawings submitted with the **DRA** do not have to be professionally done, but they must be to scale. They must include a plan view and rear, left, and right elevations with dimensions and sufficient clarity that the ARC will understand what the completed project will look like. The application must also state what materials and colors will be used to construct the porch. If a porch is associated with an open deck or stairs or has a railing, see the topic “**DECKS**” above for criteria for those elements.
- Owners planning to construct or modify a porch are advised to consider that porches are an extension of the home, which can impact its exterior appearance and may affect the privacy or other aspects of adjoining homes.
- Modification of an existing porch requires submission and approval of a Design Review Application prior to beginning any modification. See “**PORCH CRITERIA**” below. This includes, but is not limited to, removal of railings, replacement of an existing railing, installation of vinyl or single pane glass windows, installation of entry type doors, construction of privacy screening / wall, re-shingling the roof, removal of the porch, and etc.
- All elements of porches must be maintained in good condition at all times just as the house it is attached to must be. No significant blistering or peeling of painted or stained surfaces is permitted. Rotting or broken materials must be replaced. Algae, moss, and fungus stains must be removed. Repairs and repainting that maintains the approved design, colors, or materials do not require a **DRA**. Roofs must also be maintained. See the topic “**ROOFS and Shingles**” below. Maintenance and repair activities, such as repainting or restaining railings or trim that maintains the approved color, replacing screening material, replacing a screened door or storm door with one of the approved design and color, making repairs that maintain the approved design and materials, and etc. do not require a Design Review Application.
- Privacy Screening / Walls above the level of the railing of an unscreened porch **may** be permitted on a case-by-case basis for attached homes only. See the topic Privacy Screens / Walls. This does not apply to screened porches.
- Landscaping around porches is strongly encouraged. See the topic “**LANDSCAPING**” below.
- The area under elevated porches must be kept neat and well maintained at all times. If the area under an elevated porch is to be used for storage of lawn mowers, garden tools, garden or building materials, ladders, etc. It must be screened by using lattice, siding, or landscaping. See the topic “**AREA UNDER ELEVATED STRUCTURES**” above. Sunshades may not be used as screening under elevated porches. For Guidelines related to ceilings and the area under elevated porches, see the topic “**AREA UNDER ELEVATED STRUCTURES**” above.
- For Guidelines related to enclosing a new or existing porch with vinyl or single pane glass windows and doors, see the topic “**PORCHES (ENCLOSED)**” below.

Porch Criteria:

The ARC will consider the following factors in their review of applications for construction or modification of porches.

- **Location:** Porches must abut / be attached to the rear wall of the house. No part of the porch may exceed the side plane of the home as defined above. Stairs may not exceed the side plane of the house. A flat, ground level landing area, not to exceed 4' x 6', may be installed in the side plane of the house at the bottom of stairs. (Note: The side plane of the house does not include bay windows or other bump outs.) Side yard locations for porches or their associated stairs will not be approved.
- **Setbacks:** Porches must meet the setback requirements stated in Appendix II.
- **Drainage:** Any adverse drainage that might result from construction of a porch shall be considered in the construction plan. If adverse drainage does result, the owner constructing the porch is responsible for remedying the situation. Approval will be denied if the ARC determines that adjoining properties will be adversely affected by changes in drainage due to construction of the porch.
- **Style, Scale, and Design:** Porches shall be of a scale and style / design which are consistent with the Colonial architecture of the community and compatible with the home to which it is attached, adjacent homes, and the environmental surroundings. Gable and hipped roofs are preferred. Shed roofs may be approved if the architecture of the rear of the house precludes the use of a gable or hipped roof. See the examples shown below.



Closed gable with siding and vent. Everything above red line (the soffit) matches the same items on the house. The color of everything vertical below the red line matches the house trim color or is white.



Hip roof.
Example of siding screening under the porch.



Example of a siding knee wall



Example of a screened and open gable. Arched trim at the top of bays is not mandatory.



Example of a Wainscot knee wall



Example of a shed roof.

- **Materials:** Porches may be constructed using high quality pressure treated wood (#2 southern yellow pine or better) or other wood that remains stable in exterior applications such as cedar and redwood. Steel, aluminum, PVC, and composite materials may also be used where appropriate. The **DRA** must state what materials are being used and where.
- **Roofs and Shingles:** Roof pitch must be consistent with the pitch of roofs on the house and homes within HH. Roofs must have a 1 foot overhang that does not exceed beyond the overhang of the house roof. The roof must be shingled using shingles that match the design of existing shingles on the house and match the color as close as possible. A sample must be provided to the ARC with the **DRA**. Roof ridge vents may be installed. If ridge vents use shingles, the shingles must match the shingles on the porch roof. Ridge vents may also be black. Skylights and solar tubes may be installed in porch roofs. They must be described in the **DRA**.
- **Rake, Fascia, Soffit, Gutters:** The rake, fascia, soffit, and gutters must match the design, material, and color of those used on the house. See pictures above. They must be described in the **DRA**. Downspouts may be white if the porch trim color is white.
- **Closed Gables:** Closed gables must use siding of the same color and design as the siding currently used on the house. A ventilation louver may be installed in closed gables as seen in the pictures above. Its design must be compatible with the design of other louvers installed on the home or neighboring homes, if applicable.
- **Items Installed Below the Soffit:** Below the soffit, all visible vertical surfaces including the trim, frieze boards, band-boards, support posts and beams, screen or storm doors, railings, screening lattice, if used, must all match the color of the house trim or be white. The house trim color is the found on the house rake and soffit, on the approximately 4 inch wood trim around windows and doors, and the trim around garage and main entry doors. The trim at the top of screened bays may be arched or straight.
- **Floor Materials:** Floors in porches are typically wood, composite, or concrete. The material and the color of floors used interior to porches is not of concern to the ARC.
- **Open Railings:** Open railings must be consistent with railings described under the topic “Decks” above. The color of railings, whether painted wood, aluminum, vinyl, or composite, must match the color of the house trim as close as possible or be white. Railings and trim must be the same color. Because some aluminum, vinyl, and composite railings do not closely match house trim colors, the use of railing and trim colors that closely match the house siding color may be considered on a case-by-case basis.
- **Closed Railings / Knee Walls:** Porches may have “closed” railings or “knee walls” vice open railings with balusters. See the pictures above. If the exterior of a knee walls is covered with siding, as shown in the picture above, the siding used must be of the same color and design as the siding currently on the house. If solid panels are used to create a wainscot knee wall, the exterior of the panels must be painted to match the other trim on the porch.
- **Bug / Pet Screening:** Bug / pet screening used in screened porches must be charcoal.
- **Stairs and Landings:** Stairs and stair landings associated with porches must be consistent with stairs and landings described under the topic “Decks” above. The color of stair stringers and railings must match the color of the porch trim. Stair treads may be the same material and color as the porch floor.

- **Screen Doors / Storm Doors:** Screen doors may be selected from the topic “DOORS 4. Screen Doors” above. Optionally, storm doors selected from the topic “DOORS 6. Storm Doors for Other Locations” above may be installed instead of a screened door.

PORCHES (Enclosed)

- **A Design Review Application must be submitted and approved prior to enclosing an existing screened or open porch or constructing a new “enclosed” porch.**
- In general, enclosed porches must meet all of the same criteria as screened or open porches above.
- This topic discusses additional criteria associated with enclosing porches to enhance protection from weather, reduce infiltration of dust and pollen, and increase usability beyond the normal spring to fall period.
- **Enclosure using vinyl windows:**
 - The aluminum frame of vinyl windows with an integrated screen that are installed on the interior of porches must match the color of the porch trim as closely as possible or be white. A bronze or dark color frame may be used to better match the color of the interior of the porch if the exterior trim is wide enough to hide the darker colored aluminum frame. The color of exposed support posts and framing must match the color of the porch trim.
 - The aluminum frame of vinyl windows without an integrated screen that are installed on the interior of porches and installed behind screening may match the color of the porch trim as closely as possible or be white. A bronze or dark color frame may be considered on a case-by-case basis if it better matches the color of the interior of the porch and better retains the exterior appearance of the porch prior to installation of the vinyl windows.
 - For stationary or moveable panels mounted to the exterior of the porch, the color of the aluminum frame must match the color of the porch trim as closely as possible.
 - Vinyl windows may be clear or lightly tinted.
 - The color of integrated screening must be charcoal.
 - Colors for frames, screens, and vinyl must be stated on the DRA .
 - Vinyl window panels wider than approximately thirty-six inches typically have one or two vertical stiffener bars installed to account for wind load. These stiffener bars are not mandatory.
 - The color of the frame around gable and transom windows must match the porch trim color as closely as possible or be white.
 - Open gables may be enclosed using vinyl, Plexiglas, or glass. These open gables do not have to have grids installed. Open gables may also be enclosed using siding. See the topic “**PORCHES**” above.
 - Transoms over storm doors may be enclosed using vinyl, Plexiglas, or glass. These transoms do not have to have grids.
 - For storm doors see the topic “**PORCHES**” above.
 - For siding and wainscot knee walls, see the discussion of porches above.



Vinyl windows with integrated screen and cabana style door. Open gable is glass.



Stationary vinyl panels are mounted to exterior of the railing. Moveable vinyl panels with integrated screening are installed above the railing.



Moveable vinyl panels mounted inside standard pet screening.



Transom over the door is a vinyl panel.

- **Enclosure using single pane glass windows:**

- The aluminum frame of the single pane glass windows installed on the interior of porches must match the color of the porch trim as closely as possible or be white. A bronze or dark color frame may be used to better match the color of the interior of the porch if the exterior trim is wide enough to hide the darker colored aluminum frame.
- The glass in single pane glass windows must be clear. These single pane glass windows do not have to have grids installed. However, if grids are desired, two designs are permitted – 1) one vertical grid bar that divides the pane into equal halves, or 2) two vertical grid bars that divide the pane into equal thirds.
- The exterior portion of the wooden frame of the window units and any new exterior trim must be painted to match the color of the porch trim as closely as possible.
- The color of the aluminum frames of associated screens must match the color of the porch trim as close as possible or be white. The color of the screening material must be charcoal.
- The color of the frame around gable and transom windows must match the porch trim color as closely as possible or be white.
- Open gables may be enclosed using Plexiglas or glass. These open gables do not have to have grids installed. Open gables may also be enclosed using siding. See the topic “PORCHES” above.
- Transoms over storm doors may be enclosed using Plexiglas or glass. These transoms do not have to have grids.
- For storm doors see the topic “PORCHES” above.
- For siding and wainscot knee walls, see the discussion of porches above.



Example of interior of window unit



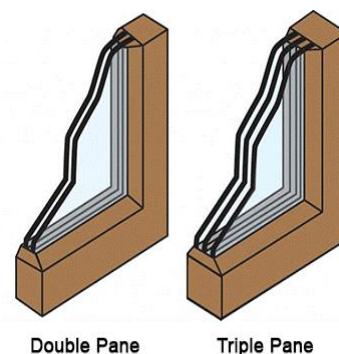
Example of exterior of window unit and screen.



Example of porch with single pane glass windows installed.

- **Enclosure using double or triple pane glass windows and other materials:**

For purposes of this guideline, use of materials such as double or triple pane glass windows, sliding glass doors, French doors with glass, standard entry doors with or without glass to enclose a porch effectively converts or at least provides the potential to convert the porch into a day-to-day four-season living space addition to the home or a sunroom. Therefore, the criteria under the topics “**SUNROOMS**” and “**WINDOWS**” below will be used by the ARC to review and evaluate such porch enclosure or construction applications. Further, PWC advises that conversion of a porch into a four-season area or room will require a permit and that the four-season area will have to meet all of the requirements for living space to include insulation, electrical wiring, access and egress, and etc.



PORTABLE TOILETS: Use of such toilets is regulated by Policy Resolution #8. Owners should contact the Covenants Administrator prior to placing such a toilet at their home.

POST LIGHTS: Because exterior post lamps assist in community appearance and safety, they shall not be removed or turned off during hours of darkness; they shall be maintained in good working order. Sensors are readily available at electric supply and home improvement stores. Burned out bulbs shall be promptly replaced. If the post lamp has been converted to a manual switch, it shall be turned on at dusk. The post of post lights must be black. The color, size, and design of post light fixtures are discussed under “**LIGHTS**” above.

PRIVACY SCREENS / WALLS: Privacy screens/walls may be approved on a case-by-case basis for patios, decks, and open, unscreened porches only for attached homes and where the planting of a hedge is not practical, desirable, or feasible. Approval of a **DRA** is required prior to installing a privacy screen or wall. Applications for privacy screens/walls will be evaluated based on:

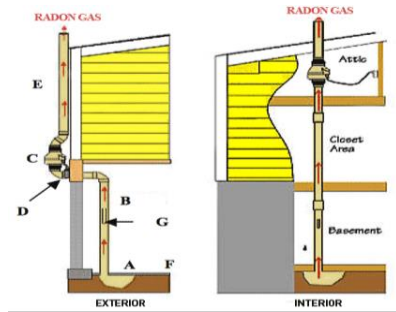
- General appropriateness, size, location, and compatibility with architectural design qualities of the community, and overall aesthetics.
- Impact on sight lines related to streets and traffic.
- Loss of views, sunlight, or natural ventilation by neighboring properties.
- No taller than 6 feet from the turf or the walking surface of an associated patio, deck, or open, unscreened porch.
- Does not extend more than 12 feet outward from the rear wall of the house.
- Is to be constructed of white vinyl or aluminum material.

If installed on a property line, the application must be submitted by both parties sharing the property line. Both parties must accept responsibility for maintenance of the structure as a whole and specifically their side.

If appropriate, meet PWC criteria regarding fences and a PWC zoning permit.

Supporting documentation must clearly describe the location and finished appearance of the screen/wall.

RADON REMEDIATION: Owners are responsible for ensuring that their radon remediation system complies with any applicable county, state and federal codes and requirements. Typically, radon remediation systems either run the vent pipe through the side or rear wall of the house up the outside of the wall of the house or up through the house and vent through the roof, as shown in the sketches below.



Exterior Remediation Systems: Submission and approval of a **DRA** is not required to install an exterior remediation system provided the following criteria are met:

- The vent pipe elements D and E and the fan C, as illustrated above and in the pictures 1, 2, and 3 below, must exit the side or rear plane of the home.
- When the vent pipe elements and fan housing are near or adjacent to a downspout, as illustrated in pictures 1 and 2 below, they must be painted to match the color of the gutters and downspout.
- When the vent pipe and fan housing are not near or adjacent to a downspout, as illustrated in picture 3 below, they must be painted to match the color of the house siding or the color of the house downspouts.
- Weatherproof/critter cap screening may be added to the top of exhaust pipes.
- Any variations require a **Design Review Application**.
- All exterior remediation systems, regardless of when they were installed, must meet the current guidelines.



1. Fan housing and vent pipe color to match the gutter and downspout color.



3. Fan housing and vent pipe color to match the gutter and downspout color.



3. Fan housing and vent pipe color to match the siding color.

- **Interior Remediation Systems:** Submission and approval of a **DRA** is not required to install an interior remediation system. To minimize the aesthetic impact of the exhaust vent pipe exiting the roof, homeowners are strongly encouraged to have the vent exit the roof to the rear of the ridge line. However, if technical or other conditions require the exhaust vent pipe to exit the roof forward of the ridge line, the vent pipe should be placed in as inconspicuous place as possible. Any variations require a **DRA**.



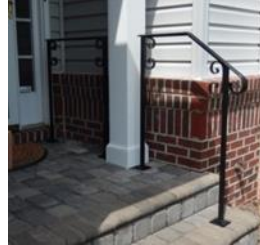
Example of a vent exhaust pipe

Homeowners may wish to ask contractors testing for the presence of radon if they are certified under the National Radon Proficiency Program (NRPP). They may also wish to ask system installers if they are certified under the National Radon Safety Board (NRSB).

RAILINGS: All railings must conform to the requirements below and to PWC requirements. PWC Property Maintenance Code Section 307.1 states that every exterior and interior flight of stairs having more than four risers shall have a handrail on one side of the stair and every open portion of the stair, landing, balcony, porch, deck, ramp or other walking surface which is more than 30 inches above the floor or grade below shall have guards (railings). Handrails shall be not less than 30 inches in height or more than 42 inches in height measured vertically above the nosing of the tread or above the finished floor of the landing or walking surfaces. Guards (railings) shall not be less than 30 inches in height above the floor of the landing, balcony, porch, deck, or ramp or other walking surface.

Additional PWC requirements regarding guardrails are included in Appendix IV.

Front steps: Railings on front steps may be placed on one side or on both sides of the steps. The railing color shall be black, white, or the color of house trim. The pictures below show styles and designs of wrought iron and aluminum railings that have been used and approved frequently throughout the community. A **DRA** is not required to install or replace railings on front steps provided the style and design used closely matches one of the designs shown below and the material is wrought iron or aluminum. Approval of a DRA is required prior to installing a railing that is not wrought iron or aluminum and does not closely match the style and design of the railings shown below.



Front porch: Replacement of existing railings with new railings of the same design, color, and material does not require a **DRA**. Installation of a replacement railing that involves a change in design, color, or material does require a **DRA**.

Installation of a new front porch railing where none currently exists requires a **DRA**. New front porch railings may be wrought iron, or material similar in appearance, or vinyl railing similar in appearance to railings used on decks. The height of porch railings shall be no more than 42 inches and posts shall be no more than 45 inches above walking surface of the porch. The color of wrought iron railings must be black, white or match the trim color of the house. The color of vinyl railings must be white or match the trim color of the house.

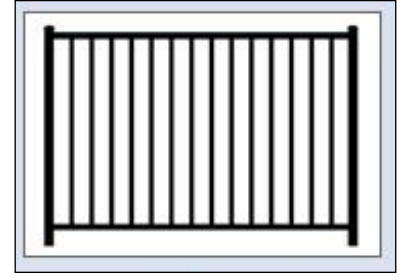
Patios: A **DRA** is required to install a railing on a patio. Railings on patios must conform to Prince William County requirements. Patio railings shall be wrought iron or material similar in appearance or vinyl railing similar in appearance to railings used on decks. The color of wrought iron railings must be black, white or match the trim color of the house. The color of vinyl railings must be white or match the trim color of the house. The height of patio railings shall be no more than 42 inches and posts shall be no more than 45 inches above the walking surface of the patio. Solar/ low voltage light post caps may be used on the top of posts provided the top of the light does not exceed 45 inches above the walking surface.

Decks and porches: Railings on decks and porches are discussed under the topics “**DECKS**” and “**PORCHES**”.

Rear porch / rear stairs /basement stairwell: Replacement of existing railings with new railings of the same design, color, and material does not require a **DRA**. Installation of a replacement railing that involves a change in design, color, or material does require a **DRA**.

Installation of a new railing on a rear porch, rear stairs, basement stairwell, or retaining wall where none currently exists requires approval of a **DRA**. The color of wrought iron railings must be black, white or match the trim color of the house. The color of vinyl railings must be white or match the trim color of the house.

RETAINING WALLS: Metal fencing that is similar to that shown in the figures below may be installed on a retaining wall or adjacent to a retaining wall. The color must be black.



RETRACTABLE SCREENING: Approval of a **DRA** is required to install vertical, retractable screening. The color of the mechanism cover shall match the color of the fascia board to which it is attached as closely as possible. The horizontal borders of the screen shall match the color of the mechanism cover.



ROOFS and SHINGLES (Maintenance, Repairs, reshingling, and Repainting Metal Roofs, Etc.):

The roof of each attached and detached single family dwelling unit is the maintenance, repair, and replacement responsibility of each individual dwelling unit owner/owners pursuant to Article 6, Section 6.15 of the Declaration.

General: No items may be mounted on the roof area forward of the ridgeline of a house (except for TV antennas, satellite dishes, lightning protection system components, solar tubes, and required dryer, furnace, and sewer exhaust vents installed by the developer or approved by the Architectural Review Committee).

- **The following do not require approval of a DRA:**
 - Installation of lightning protections systems,
 - Installation of skylights and solar tubes on rear roofs, and
 - Replacement of attic ventilation fans on rear roofs with like fans.
- **The following do require approval of a DRA:**
 - Installation of new attic fans on rear roofs, and
 - Installation of solar tubes forward of the ridge line. (See Solar Tubes below.)
 - Installation of any other items mounted on any roof area.

Roof maintenance, repairs, modification replacement of shingles, and repainting or replacement of metal accent roofs are discussed below.

Roof Maintenance: All roofs must be maintained in good condition at all times. This includes but is not limited to repairing wind damage to shingles, roof vents, ridge vents, cleaning off moss/algae stains and streaks, and periodically cleaning and repainting or replacing small metal accent roofs that have become mottled, stained, rusted, faded, sun bleached and etc.

If approximately twenty five percent (~25%) of the surface of any roof section is stained with algae, the Covenants Administrator (CA), acting for the HH HOA, will issue a letter to the owner of the home requesting that the roof be cleaned. In cases where the owner questions that the 25% level has been reached, they should contact the CA by email or written letter for re-determination or an appeal hearing. Owners should be aware that algae may return on a roof that has been cleaned, and it may need to be cleaned again. Owners who have their roofs professionally cleaned should be aware that roof cleaning contractors typically provide a warranty that the algae will not return within a specific period of time. The warranty time period varies greatly among contractors; therefore, owners should be sure to understand the terms of any warranty before selecting a contractor. If roof algae returns within the warranty period,

owners should contact the contractor.

If approximately twenty five percent (~25%) of the surface of any metal roof section has been reduced to bare metal or is peeling, rusting, and etc. the Covenants Administrator (CA), acting for the HH HOA, will issue a letter to the owner of the home requesting that the roof be repainted, replaced, or repaired. In cases where the owner questions that the 25% level has been reached, they should contact the CA by email or written letter for re-determination or an appeal hearing.

Roof Repairs (On all Single Family Units – Attached and Detached): When roof repair is required that involves only a limited number of shingles a **DRA** is not required. The shingles used for the repair must match the style/design of the existing shingles and match the weathered color of the existing shingles as closely as possible. If shingles are used that do not match the style / design or color of the existing weathered shingles on the roof, the HOA may require them to be replaced.

Replacement or repair of existing dryer, sewer, furnace, or radon remediation vents and their associated flashings or boots does not require a **DRA**.

Replacement or repair of existing solar tubes and skylights and their associated flashings does not require a **DRA**.

Replacement of ridge vents does not require a **DRA**. However, the color of the new ridge vent should closely match the color of the existing ridge vent. If shingles are used on the ridge vent, they must be the same color as the roof shingles.

Repainting small metal accent roofs does not require a **DRA** provided the paint color used closely matches the original paint color. If a homeowner wishes to change the color, a **DRA** is required. A paint swatch or sample must be provided so the ARC can determine what the dried color will be and how it will coordinate with the other colors used on the house.

Replacing small metal accent roofs with a new metal roof does not require a **DRA** provided the new roof is of the same size, location, design, and color as the existing roof. If the size, location, design, and color are to be changed, a **DRA** is required. A sample or brochure must be provided so the ARC can determine what the new color will be and how it will coordinate with the other colors used on the house.

Replacing the metal on small metal accent roofs with shingles or another material does require a **DRA**. The shingles to be used must match the design and color of the shingles existing on the main roof of the house as close as possible. A shingle / material sample or brochure must accompany the **DRA** so the ARC can determine what the shingle color will be and how it will coordinate with the other colors used on the house.

MODIFICATION OF A ROOF OR ADDITION OF A NEW ROOF: Any modification to an existing roof or change to the style or color of existing roof shingles requires a **DRA**.

When a new roof is added to a detached or attached single family dwelling, such as a sunroom or porch, the shingles of the addition must match the color and style/design of the existing shingles on the house as closely as possible. (See the topics “**DECKS / PORCHES / SUNROOMS**”). If shingles are used that do not match the color and style / design of the existing shingles on the house roof, the HOA may require them to be replaced or require that the house roof be replaced to match the porch or sunroom roof.

TOTAL SHINGLE REPLACEMENT: In the event of an emergency situation, to preclude a leaking roof from damaging the insulation or the interior of the house, owners should contact the Covenants Administrator at 703-743-5494 or the ARC Chair to request that action on their **DRA** be expedited via email / telephone approval vice waiting for the next scheduled ARC meeting.

Total Shingle Replacement on Detached Single Family Units: A total roof shingle replacement on a detached single family dwelling requires the approval of a **DRA**. Total roof shingle replacement on an attached single family dwelling is discussed below.

Shingle Color and Style / Designs: To maintain the architectural design of the community, the color of the new shingles should closely match the color of the existing shingles. A substantial change in color may be considered on a case-by-case basis if there is a significant reason to do so. In any case, the color of the new shingles being used shall complement the siding and trim colors of the house. A brochure or sample of the proposed shingle must be submitted with the **DRA**. Shingles that are energy radiating (sun reflecting in summer and heat absorbing in winter) may be considered.

The two shingle styles / designs used in Heritage Hunt are shown below. On detached single family homes, either style / design may be used when doing a total roof replacement. For the shingle style / design to be used on shared / common roofs of attached single family dwellings, see item 4 below – **“TOTAL SHINGLE REPLACEMENT ON ATTACHED SINGLE FAMILY DWELLING UNITS.”**



3-Tab Shingles



Architectural Shingles

Shingles on porches and sunrooms must match those on the main roof of the house in both style/design and color. If the main roof is re-shingled, the porch or sunroom roof must be re-shingled at the same time so that the total roof will be uniform in style/design and color.

TOTAL SHINGLE REPLACEMENT ON ATTACHED SINGLE FAMILY DWELLING UNITS: A total roof shingle replacement on an attached single family dwelling requires the approval of a **DRA**.

The owners of attached single family dwelling units are individually responsible for the maintenance, repair, and replacement of their own roof. However, owners of attached single family dwelling units that have a “shared/common roof”, as shown in the picture below, where lot lines are not clearly delineated on the roof, are free to agree amongst themselves or arrive collectively at an arrangement as to how to best deal with the maintenance, repair, or replacement of their “shared/common” roof.



To maintain the overall design concept, the architectural design features, and visual and aesthetic appearance of the community, the HOA strongly recommends and urges that when one part of a “shared/common roof” requires replacement, that all lot owners in that grouping or block join together to replace the entirety of the shared roof at the same time. If this is feasible, either shingle style / design described above may be used. If this is not feasible:

- a. The first unit owner to re-roof may select either shingle style/design (3-tab or architectural) and a color that matches the current color as closely as possible; and
- b. Succeeding unit owners desiring to re-roof shall be restricted to using shingles from the same manufacturer as the owner who previously re-roofed and of the same type, design/style, and color. If the shingles that were first used are no longer available, then the owner(s) must use a shingle that is the best match possible.

In the case of a. above, the Covenants Administrator will send a letter to other unit owners that are not re-roofing at the same time advising them of the action being taken within their unit. Owners, who decline to participate in the re-roofing project, **will be required to sign a statement (See APPENDIX IX “NOTICE TO OWNERS OF ATTACHED HOME”)** stating that they:

- Have been warned of the current proposed reroofing project and reasons therefore and the potential risk of leakage occurring at the “property line / party wall”,
- Understand that when they elect to re-roof, they will be required to use shingles of the same manufacturer, style/design, and color as the shingles used by the participating owners or the closest match possible.

USE OF DEMISING STRIPS: The use of demising strips to define individual roofs on attached single family homes may be considered on a case-by-case basis if such use makes sense to logically break up the roof surface. However, such use may not be approved if party walls / lot lines split dormers and roof planes to create a messy looking roof.

SEASONAL DECORATIONS: Seasonal decorations are defined as those special objects and lighting that are consistent with holidays/celebrations. No DRA is necessary for holiday /celebration decorations that are not permanently attached to the house or other property structures, and which are installed and removed within the holiday / celebration time frame outlined below. These guidelines are to promote harmony in the community, and to avoid discourteous and unsafe conditions affecting property values.

1. **Timing:** Seasonal Decorations may be installed one month prior to the holiday/celebration and shall be removed by owners/residents not more than 2 weeks after the holiday/celebration. The removal time is weather permitting. If an owner/resident expects to be away after installing seasonal decorations, it is their responsibility to have the decorations removed by a third party.
2. **Color and Style:**
 - A. Lighting for holidays may use constant or flashing / blinking lights.
 - B. Multi-color lighting is acceptable.
 - C. Lighting and installed objects are not permitted on the roofs of any home, excluding perimeter roofline illumination.
 - D. No installed ground decorations lighted or otherwise, shall exceed approximately 4 feet in height.
 - E. As a courtesy to neighbors, decorative lighting shall be turned off by 11:00 p.m. each night.
 - F. The density/scale of installed decorations, on your property, should be limited to a reasonable number and size.
3. **Common Grounds and Facilities:** Owners/residents are not permitted to place any seasonal - decorations in or on common areas, except under the auspices of the Adopt-a-Spot Program of the Grounds Committee.

SECURITY BARS: The use of exterior security bars or grates on windows and doors are prohibited. Owners concerned about the security of their residence are advised to consider alternatives, including alarms and sophisticated lock systems.

SECURITY CAMERAS: Security cameras may be installed without submission and approval of a DRA.

SETBACKS: Refer to “**APPENDIX II**”, Prince William County Setback Summary Heritage Hunt Requirements for setback requirements for decks, porches, sunrooms and patios. Decks and patios with pergolas must meet the same setback requirements as porches and sunrooms. Applicants wishing to install a pergola on an existing deck or patio should check with PWC to determine if the deck or patio must be shortened toward the house to allow the required setback. Applicants wishing to install a porch or sunroom on an existing deck may also be required to shorten the deck toward the house to allow the appropriate setback.

SHEATHING/VINYL WRAPPING: Installation of vinyl/aluminum sheathing over the existing exterior trim and other wood surfaces requires a **DRA** and a sample of the material to be used must be provided. The color of the sheathing must match the existing trim as closely as possible. All decorative designs must be described in the DRA.

SHINGLES: See the topic “**ROOFS and SHINGLES**” above.

SHUTTERS:

Replacement: Approval of a **DRA** is not required to replace existing shutters with shutters of like design and color. (NOTE: The color of the front door and shutters must match. Any deviation requires a **DRA**.)

Addition: A **DRA** is required to add shutters to a house. Applications will be evaluated on a case-by-case basis in terms of general appropriateness, design, proposed color, size, location and compatibility with existing architectural and aesthetic design qualities of homes in Heritage Hunt.

SIDING: Total residing of a house requires a **Design Review Application**. Any modification in design or change in color of siding on a house requires a **Design Review Application**. A **Design Review Application** is not required to repair siding or replace missing siding provided siding of the same style is used and the existing color is matched as close as possible. The original siding used by the developer was provided by a company called NORANDEX. Currently, the closest location is 141 Lakeville Circle, Winchester, Virginia. The phone number is 540-662-2244. Typically, siding from other suppliers will not match the existing colors well or match the profile of existing siding.

SIGNS: In addition to the criteria below, also see Policy Resolution #8.

Security Signs: Two security signs, each not exceeding a total of 64 square inches may be posted on the property within 4 feet of the house. One security sign may be posted in the front yard and the second may be posted in the rear yard. A **DRA** is not required.

Invisible Fence Signs: Invisible fence signs are required to be posted. See Invisible Fences above regarding the location of these signs. A **DRA** is not required.

For Sale/Rent Signs: For Sale and For Rent signs are discussed in and regulated by Policy Resolution #8.

Estate Sale Signs: “Estate Sale” signs are discussed in and regulated by Policy Resolution #8.

SKYLIGHTS: Skylights may be located only on the rear roof and must be located so that they are not visible from the front of the dwelling unit. Skylights are not permitted on the front side of the roof ridgeline. Skylights which are constructed nearly flush with the roof line are preferred. A **DRA** is not required to install skylights in rear roofs.

SOLAR TUBES: Solar tubes may be located anywhere on the roof. A maximum of two solar tubes may be located forward of the ridge line. The maximum diameter of solar tubes located forward of the ridgeline is 14 inches. If these criteria are met, a **DRA** is not required to install solar tubes.

SOLAR PANELS: Solar panels and other solar collection devices, except those associated with attic ventilation fans discussed above are prohibited unless authorized in writing by the Board of Directors.

SOLAR SHINGLES: See the topic “ROOFS and Shingles” above.

STORAGE: Nothing shall be kept or stored on a continuing day-to-day basis on lots exterior to the home which would create an unsightly condition. This includes, but is not limited to; refuse containers, trash or rubbish, machinery and equipment, building materials, landscaping materials, firewood, and etc.

No refuse or trash shall be kept, stored or allowed to accumulate on any Lot, unless such item is visually screened from visibility, beginning at the property line and beyond, in a manner approved in accordance with these guidelines. No outside storage and operations shall extend above the top of any such screening.

If trash or other refuse is to be disposed of by being picked up and carried away on a regular and recurring basis, containers may be placed in the open on any day that a pick-up is to be made and at such place on the Lot, street, or pipe stem as to provide access to the persons making such pick-up. At all other times, such containers shall be stored so as to be visually screened from all streets and adjacent and surrounding Lots or in garages.

Owners who are making changes to their Lot or the exterior of their home, that were approved by the ARC or do not require a **DRA**, may store a limited amount of materials in the drive way or the rear portion of their lot. These materials may remain on the Lot only for the duration of the approved project. Equipment required for the project, such as ladders, may also be kept in the rear portion of the Lot for the duration of the project. These conditions also apply when owners are making changes to the interior of their home. Also see the topic Bulk Trash Containers (Dumpsters) above.

No outside storage of any kind shall be permitted without being visually screened from all streets and adjacent and surrounding Lots. Continuing day-to-day storage of ladders, lawn maintenance equipment and tools, empty pots, potting soil, building materials, firewood, and other miscellaneous items may be stored on lots exterior to the house or garage only under decks, porches, and sunrooms where the area under the deck, porch, or sunroom is screened with lattice, siding, or landscaping. None of the items stored under a deck, porch, or sunroom may be visible above the screening or through the screening beginning at the property line and beyond. (See Under Deck/Porch/Sunroom Screening and Ground Cover)

1. PERMANENT OR LONG TERM STORAGE: Outside and open storage on a permanent or long term basis (more than 14 days) of ladders, empty pots, potting soil, mulch, firewood, and other miscellaneous items is not permitted anywhere on lots exterior to the house or garage except under decks, porches, and sunrooms where the area under the deck, porch, or sunroom is screened from visibility beginning at or beyond the property line with lattice, siding, or landscaping. (See Under Deck/Porch/Sunroom Screening and Ground Cover). Lawn maintenance equipment,

such as rakes, shovels, lawnmowers, leaf blowers, etc., must be put away daily and not stored openly.

2. **TEMPORARY STORAGE CONTAINERS:** The use of portable moving and storage containers, sometimes referred to as PODS, is discussed in and regulated by Policy Resolution #8.
3. **HORIZONTAL STORAGE BINS:** Installation of horizontal storage bins does not require a Design Review Application, if the size criteria in the next paragraph below are adhered to. PWC Zoning advises bins 3 feet high by 3 feet deep by 6 feet wide do not require a zoning permit.

No more than two horizontal storage bins, similar to those pictured below, are permitted. The bins must be located within one foot of the rear house wall or foundation and they may not exceed the side plane of the house. Bins must be neutral in color and be no larger than 3 ft. high by 3 ft. deep by 6 ft. wide. Bins may not block access to a window or door.

Horizontal bins with dimensions larger than 3 ft. high by 3 ft. deep by 6 ft. wide require the submission of a **DRA**. Larger bins are sometimes viewed as sheds. Therefore the application must have a PWC zoning permit attached or a statement from PWC that a permit is not required. Applications will be evaluated, and may be approved or denied, based on size, location, colors, architectural design, aesthetic appearance, and proposed screening with landscaping or lattice.

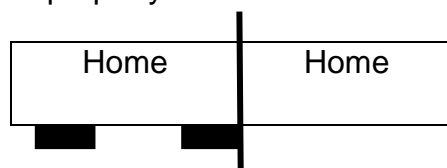
Horizontal bins may be placed on a paver, gravel; or concrete base that does not exceed 4 feet outward beginning at the house rear wall or foundation and one foot beyond the width of the bin or bins. Horizontal bins may be placed on patios, open decks and porches, under decks, porches, or sunrooms, and on screened porches. If the conditions noted above are met, they do not need to be screened by lattice, siding, or landscaping.



4. **VERTICAL STORAGE BINS:** Prior to installation of a vertical storage bin, a Design Review Application must be approved by the ARC. PWC Zoning advises that small vertical bins with the dimensions noted below do not require a zoning permit.

No more than two small vertical storage bins, similar to those pictured below, are permitted at the rear of the house. They must abut the rear wall or foundation of the house, and they may not exceed the side plane of the house. Attachment to the wall or foundation is recommended to prevent the bin from blowing or tipping over. Vertical bins must be neutral in color and no larger than 3 feet wide by 3 feet deep by 6 ft. high". Bins with dimensions larger than 3 ft. wide by 3 ft. deep by 6 ft. high will be evaluated, and may be approved or denied, based on size, location, colors, architectural design, aesthetic appearance, and proposed screening with landscaping or lattice. Bins may not block a window or door.

Vertical bins placed at the rear wall of an attached dwelling must be offset a minimum of 5 feet from the common property line. PWC may also impose other requirements on vertical bins abutting or located near common property lines



Vertical bins may be placed on a paver; gravel; or concrete base that does not exceed 4 feet outward from the house foundation and one foot beyond the width of the bin or bins. Vertical bins may also be placed on patios and under decks/porches/sunrooms. If the conditions noted above are met, they do not need to be screened by lattice, siding, or landscaping.



- 1. STORAGE SHEDS:** Prior to installation of a shed, a Design Review Application must be approved by the ARC. Prince William County advises that sheds require a Zoning permit. The Design Review Application must have an approved PWC zoning permit attached.

Definition of a Shed: For the purposes of these guidelines, a shed is defined as a simple roofed structure used as a storage space for lawn and garden maintenance materials and equipment, tools, empty pots, ladders, and other miscellaneous items. This definition extends to other terms such as Garden Cabinet or Hutch that are used occasionally to describe a simple roofed structure used for the same purpose.

Detached, standalone storage sheds that are not attached to the rear wall or foundation of the home are prohibited. It is understood that due to the architectural design of some homes this prohibition may preclude some owners from constructing sheds.



Prohibited



Prohibited



Prohibited

Any storage shed can have a negative aesthetic impact on neighboring lots and ill-placed or poorly designed sheds can visually and functionally negate an otherwise desirable residential area. Therefore, it is important to remember when selecting a shed location and design that there are needs other than storage, which must be considered. Therefore, the design, materials used, and location of storage sheds will be evaluated on a case-by-case basis. Shed design, material, and color criteria are discussed below.

The following documentation must be submitted with the Design Review Application:

- A plan view drawing that demonstrates where the shed will be placed on the lot (the plat required to be submitted with the **DRA** may be used for this purpose);
- Left, right, and rear view elevation drawings or photographs that illustrate the exterior design of the shed at completion,

- A list of the exterior materials and colors that will be used; and
- An approved PWC Zoning permit. (The process to obtain a zoning permit is outlined below.)

Criteria:

A. **Design.** The architectural design, materials, and colors used in the shed must be compatible with the design, materials, and colors of the home. Storage shed designs, colors, and materials that mimic builder installed kitchen or fireplace bump outs as shown below are preferred. These types of sheds are mandatory when the shed will be attached the wall of a home that has vinyl siding installed. However, as also indicated below, other designs and materials will be considered when sheds are located under an elevated deck, porch, or sunroom and is not attached to a wall with vinyl siding. Sheds must be securely attached to the house wall or foundation.

The use of metal or barn type sheds is prohibited. Use of resin/plastic sheds larger than the vertical storage bins described in Vertical Storage Bins above is prohibited.

Sheds do not require screening with lattice, siding, or landscaping if they meet the criteria outlined in this section and sections B through F below.



When a shed abuts a wall with siding installed on it, the shed must use siding of the same design as the house and match the color as closely as possible. Shingles and trim must also match the house shingles and trim in design and color. Roofs must be shed roofs. Gable and hip roofs are not permitted



Owner designed and installed under deck



Hip and gable roof sheds and metal sheds are not permitted



Owner assembled kit onsite and under deck.

A. **Size** - Sheds may not exceed 32 square feet of floor space (maximum of 4 feet by 8 feet) and eight feet in height at the highest point. One wall must be attached to the rear wall of the home or the foundation.

B. **Materials** - Exterior finish materials must be compatible with those used in construction of the

home. Vinyl siding is preferred. Vinyl siding is required if the shed is attached to a wall that has vinyl siding installed on it. If vinyl siding is used, it must be the same design as the siding used on the house, and it must match the color of the house siding as close as possible. Other siding materials may be used when the shed does not abut a wall with siding, but the siding must be painted to match the siding of the house or the exposed foundation that it is attached to. PVC trim is preferred. See colors below.

C. Colors - The color scheme used on a shed must be compatible with the home. When a shed is attached to a wall that has vinyl siding, the color of the shed siding must match the color of the siding on the home. The color of the trim on the shed must match the house trim. If a shed is placed under an elevated deck or porch, the color of the trim on the shed must match the trim color of the deck or porch. See materials above regarding siding color and roof below regarding shingle color. The color of door and window frames must match the color of the shed trim. The color of doors may match the color of the shed trim, the color of the siding, or be white.

D. Doors and Hardware - **Door style must be specified in the application.** Doors may be the same design as one of those allowed for rear doors of homes. If the door has glass installed in it, the glass must have grids. Hinge and latch hardware may be black, white, or galvanized. The color of the door must be consistent with the paragraph above.

E. Windows - **Windows** must have grids.

F. Roof - Sheds shall have shed roofs. Hip and gable roofs are not permitted. If a shed is not under a deck or porch, the roof pitch must be compatible with the slope of the roof of the home. The type and color of shingles used must match the house as close as possible.

G. Location -

All Homes: Sheds may be located only in rear yards and may not exceed the sidewall of the house. No shed can block a window or door or impede emergency equipment access to the home.

Attached Homes: Sheds attached to the rear wall of an attached dwelling must be offset a minimum of 5 feet from the common property line, or the wall abutting the common property line must be a one-hour rated firewall. PWC may also impose other requirements on sheds abutting or located near common property lines.

2. OBTAINING A PWC ZONING PERMIT: Based on experience, the process for obtaining a PWC zoning permit for a shed is as follows:

Appear in person at the PWC Zoning Administration desk located at 5 County Complex Court, Prince William Virginia 22192 (just off the Prince William Parkway near Woodbridge) 703-792-7615. Present two (2) copies of the house location survey plat with the proposed structure drawn to scale on the plat. The plat must be to scale and clearly show the surveyor's signature and the scale used. All dimensions of the shed (depth, width, and height) must be noted. You must also note the distance to property lines and the proposed use for the shed. Pay the fee using cash, check, or credit card (VISA, MasterCard, and Discover).

STORM WATER MANAGEMENT AND SANITARY SEWER EASEMENTS: PWC Storm Water Management Easements are shown on your property plat or house location survey.

The HH HOA Architectural Review Committee (ARC), the HH HOA Grounds Committee (GC), and the PWC Department of Public Works must all three approve any landscaping, installation of fences, installation of drainage pipes or systems (including tapping a drainage system into a storm water inlet riser), or other construction that will occur in a Storm Water Management Easement.

To obtain ARC assistance, attend a regularly scheduled ARC meeting, submit a Design Review Application for approval at a regularly scheduled meeting, or call the Covenants Administrator at 703-743-5494.

To obtain GC assistance, attend a regularly scheduled GC meeting, submit a letter to the Grounds Committee for approval at one of their regularly scheduled meetings, or call the Covenants Administrator at 703-743-5494.

To obtain PWC Public Works Branch information and assistance, call 703-792-7070. To plant, install, or construct in a Storm Water Easement, PWC requires the submission of a "Construction in Storm Water Management Easement" form, along with a copy of the plat or housing location survey showing the exact location of the proposed landscaping, fence, or other construction. The form is available at www.pwcgov.org.

The HH HOA Architectural Review Committee (ARC) and the PWC Service Authority Division of Engineering and Planning must both approve any landscaping, installation of fences, installation of drainage pipes or systems, or other construction that will occur in a Sanitary sewer Easement. Information may be obtained from Contact Customer Service at 703-335-7950.

STORM WINDOWS: A **DRA** is required to install storm windows. Applications will be evaluated based upon style and method of installation. Frames shall be white vinyl or aluminum. The glass should be able to maintain the grid appearance of the main window the storm window is installed on.

SUNROOMS AND OTHER ADDITIONS TO HOMES:

General:

- Construction of a sunroom or other addition to a home requires Prince William County permits.
- These criteria apply to the addition of sunrooms, enclosure of porches with glass windows and doors with glass, and other additions to a home to create living space.
- These criteria do not apply to decks, open porches, screened porches, porches enclosed with vinyl windows, and storage sheds. It is the intent of the guidelines and criteria below to make the sunroom, enclosed porch, or other addition look as if it were built as a part of the original house upon completion as illustrated in the picture below.



A **DRA** must be submitted and approved prior to construction of an addition to a home. Drawings submitted with the **DRA** do not have to be professionally done, but they must be to scale. They must include a plan view and rear, left, and right elevations with dimensions and sufficient clarity that the ARC will understand what the completed project will look like. The application must also state what materials and colors will be used to construct the addition.

Owners planning to construct a sunroom or other addition are advised to consider that additions are an extension of the house, which can impact its exterior appearance and may affect the privacy and other aspects of adjoining homes.

- Any additions, modifications made to an existing addition, or removal of any addition also require a **DRA**.
- Landscaping around additions is strongly encouraged to soften corners and views from adjacent lots. (See "**LANDSCAPING**").
- Sunrooms and other additions must be maintained in good condition at all times just as the house they are attached to must be. No significant blistering or peeling of painted or stained surfaces is permitted. Rotting or broken materials must be replaced. Algae, moss, and fungus stains must be removed. Repairs and repainting that maintains the approved design, colors, or materials do not require a **DRA**. Roofs must also be maintained. See the topic "**ROOFS**" above.
- The area under an elevated sunroom or other addition must be kept neat and well maintained at all times. If the area under an elevated sunroom or other addition is to be used for storage of lawn mowers, garden tools, garden or building materials, ladders, etc. It must be screened by using lattice, siding, or landscaping. See the topic "**DECKS**" above. Sunshades may not be used as screening under elevated additions.
- For Guidelines associated with the area under elevated sunrooms and other additions, see the topic "**AREA UNDER ELEVATED STRUCTURES**" above.
- For criteria associated with deck additions, see the topic "**DECKS**" above.
- For criteria associated with open and screened porches, see the topic "**PORCHES (OPEN AND SCREENED)**" above.
- For criteria associated with enclosing porches enclosed using vinyl windows, see the topic "**PORCHES (ENCLOSED)**" above.
- For criteria associated with Storage Sheds, see topic "**STORAGE**" above.

Sunroom & Addition Criteria:

The following factors shall be considered by the ARC in their review of applications for additions, including sunrooms and conversion of porches using glass windows as noted in the topic "PORCHES (ENCLOSED)" above.

Location: Additions, including sunrooms and porches, maybe made only to the rear of homes. Additions may not increase the height of homes or change the existing roof of homes, except as may be necessary to attach an adjoining roof. Additions may not exceed the side plane of the home, and additions may not be made to the side planes of homes. Installation of a bay window or a shallow "bump out" as seen throughout the community associated with fireplaces is not considered to be an addition to the side plane of a home. (Note: The side plane of the house does not include bay windows or other bump outs.)

Setback: It is understood that the setback from the rear property line for all roofed additions is the same as the setback for porches and sunrooms shown in Appendix II.

Scale and Style: Additions, particularly elevated additions such as sunrooms, must be of a scale which is compatible with the home to which it is attached, adjacent homes, and the environmental surroundings.

Drainage: Any adverse drainage, which might result from the construction of an addition, shall be considered. If construction of a deck causes drainage issues on adjoining properties, the owner constructing the deck shall be responsible for remedying the situation. Approval will be denied if the ARC determines that adjoining properties will be adversely affected by changes in drainage.

Roofs & Shingles: Additions may use gable or hip roofs. Shed roofs may be considered on a case-by-case basis. Roof pitch must be consistent with the pitch of roofs on the house and within HH Roofs must have a 1 foot overhang that does not exceed beyond the overhang of the existing house roof. The roof must be shingled using shingles that match the design of existing shingles on the house and match the color as close as possible. A sample must be provided to the ARC with the **DRA**. Roof ridge vents may be installed. If ridge vents use shingles, the shingles must be the shingles used on the addition. Ridge vents may also be black. Skylights and solar tubes may be installed in porch roofs. They must be described in the **DRA**.

Rake, Fascia, Soffit, Gutters: The rake, fascia, soffit, gutters, and downspouts must match the design, material, and color of those used on the house. They must be described in the **DRA**.

Gables: On sunrooms, and porches being enclosed using glass windows and doors with glass, gables may be open or closed. Other additions must use closed gables or hip roofs. Closed gables must use siding of the same color and design as the siding currently used on the house. A ventilation louver may be installed in closed gables. Its design must be compatible with the design of other louvers installed on the home or neighboring homes, if applicable. Open gables in sunrooms and enclosed porches may have glass installed that does not have grids. This is the only glass in such structures that does not require grids.

Items & Materials below the Soffit: All materials and colors below the soffit, including frieze boards, trim, band-boards, and siding must match the existing items on the house. Vinyl and composite materials may be used instead of wood where appropriate, such as trim around windows and doors.

- Wood or vinyl trim around doors or windows must match the style/design and color of trim existing on the house. Lattice, if used, must also match the trim of the house.
- Windows must match the windows used in the home or other homes in the community in style. Window frames must be white. Windows may be of any manufacturer or quality. Windows must adhere to the specifications in “**WINDOWS**” below and have grids. Window knee walls are not permitted.
- Transoms over windows and doors must have grids.
- Exterior entry doors may be selected from “**DOORS**” above. Entry doors with glass must have grids. Storm/screen doors may also be selected from “**DOORS**” above.
- Walls of sunrooms, knee walls of enclosed porches, and walls of other additions to the home shall be covered with siding that matches that which is currently installed on the home in style and color. The style of siding used on sunrooms, porch enclosures, and other additions must match the style of the siding currently used on the home, and the color must match the existing color as close as possible.
- Support posts and beams under additions may be constructed of metal, high quality pressure-treated wood, or other wood that remains stable such as cedar. The color of support posts and beams, screening lattice, if used, must all match the color of the house trim. The house trim color is found on the house rake and soffit, on the approximately 4 inch wood trim around windows and doors, and the trim around garage and main entry doors.

SUNSHADES: (also see Awnings and Retractable Screening) are defined as vertical, roll up/retractable shades used under decks, porches, and sunrooms for the purpose of providing shade under the structure or on the exterior of doors and windows located on the rear plane of the house. The shades must be fabric and non-metallic; except for the housing and mechanical components. The fabric of the shade must be a solid, light, neutral color. Fabric with striped colors or designs is not permitted. When not in use, shades must be rolled up.



1. **On Windows and Doors Installed on the Rear Plane of the House:** Sunshades may be installed on the exterior of doors and windows located on the rear plane of the house. These shades are not permitted on side or front plane windows or doors. A **DRA** is required.
2. **Under Elevated Decks, Porches, and Sunrooms:** Sunshades may not be used for screening of equipment, gardening supplies, etc. stored under decks, porches, or sunrooms. Sunshades may be installed under elevated decks, porches, and sunrooms without a **DRA** providing the guidelines in the opening paragraph are met and they are in scale with the house's rear dimensions. When in use they may hang from the bottom of the floor joists to the ground.

TEMPORARY STORAGE UNITS (e.g. PODS): Use of such units is regulated by Policy Resolution #8. Owners must contact the Covenants Administrator prior to placing a temporary storage unit (pod) in front of their home.

TREES Removal and Replacement of Trees: Trees, regardless of size and whether dead or living, may be removed and not replaced without submission of a **DRA** provided the stump is also removed and the lawn is restored to sod or the landscape bed restored. However, it is recommended that trees be replaced in the interest of "greening the community". Replacement of a tree or large shrub such as a crepe myrtle or magnolia requires submission of a **DRA**. The new tree must meet the criteria below for the planting of new /replacement trees below.

Criteria for Planting of New / Replacement Trees: Planting new trees or replacement of existing trees requires submission of a **DRA**. The application must be accompanied by a plat, a scaled plan view drawing showing where the trees will be situated on the lot and their approximate size at maturity, and data describing the genus, species and variety of the trees and their expected height and width at maturity. Appendix VIII is a listing of suggested trees for planting on Lots in Heritage Hunt. Planting new fruit bearing trees is not permitted.

- A. **Front and Side Yards:** Trees planted in front and side yards should be low growing and not exceed a height of 20 to 30 feet at maturity. Trees must be situated so they do not extend beyond property lines at maturity. They must also be situated so they do not present a hazard to neighboring properties. Trees taller than 30 ft. may be allowed on a case-by-case basis if it is demonstrated that at maturity, the trees will not present a hazard to neighboring properties, common areas, or interfere with motorized or foot traffic.
- B. **Rear Yards:** Trees planted in rear yards should not exceed a height of 30 to 40 ft. at maturity. Trees must be situated so they do not extend beyond property lines at maturity. They must also be situated so they do not present a hazard to neighboring properties. Trees taller than 40 feet may be allowed if it is demonstrated that at maturity, the trees will not present a hazard to neighboring properties, common areas, or interfere with motorized or foot traffic.
- C. **Spacing, Location, and Height:** New and replacement trees must be spaced so that there is an unobstructed distance of one-half of the width (spread/drip line) of the tree between 2 trees at maturity. For example, if two trees are to be planted that have mature width of 10 ft., the two trees must be located a minimum of 15 ft. from each other. If two trees of a differing type or variety are planted next to each other, the gap must be one half of the width of the tree that will be the widest at maturity. Planting of trees in a location or of a height that, at maturity, that could fall and damage neighboring or common area property is not allowed. Trees should also be located so at maturity they do not interfere with pedestrian and vehicular traffic.

Maintenance of Trees: All trees, new or existing, must be kept trimmed so their branches do not extend over property lines. This may not apply to some front yard trees because the builder installed many front yard trees in locations so that, at maturity, their branches extend over ingress/egress areas and sidewalks. However, all trees, including builder-installed trees located along sidewalks, streets and pipe stems, must be kept trimmed so they do not interfere with pedestrian or vehicular traffic.

- Dead trees, seriously diseased trees, and large dead limbs should be promptly removed. Diseased areas of trees should be promptly treated. Owners may consider topping tall trees, such as oaks and maples, so they do not become top-heavy and become a threat their or neighboring properties. However, topping trees can have deleterious effects on them and a horticulturalist or arborist should be consulted prior to doing so. Fertilization and periodic pruning and shaping of trees will increase their aesthetic appearance and health.

TRELLISES / OBELISKS / PYRAMIDS: Trellises/obelisks/pyramids are considered equal objects and are allowed without approval, if they meet the following standards. All variances from these standards require the submission of a **DRA**.

1. There shall be no more than 4 trellises/obelisks/pyramids per house and they shall not be closer than 3' feet and no more than 2 trellises per side. Trellises shall not exceed 3 ft. wide by 6 ft. high. Trellises shall be vinyl, wood or metal and must be white, black or match the trim color of the house.
2. Trellises can be located on all sides of the house in the landscaped beds within 2 ft. of the house foundation, with the exception of the front trellis. Trellises in front of the house can be in a landscaped bed within 2 ft. of the house. One of the two in front of the home may be attached to the lamppost. If a trellis is attached to the lamppost, it can be no wider than 18 inches and no higher than the point on the lamppost where the light fixture is attached.
3. Obelisks/Pyramids can be located on all sides of the house within existing approved landscape beds adjacent to the house and used to support vines or other climbing plants. They shall not be more than 4 ft. high above the ground or more than 2 ft. wide at any point. Obelisk/pyramids installed in pots shall not be more than 4 ft. above the pot rim. Obelisks/pyramids shall be vinyl, wood or metal and must be white, black or match the trim color of the house.

VEGETABLE/FRUIT GARDENS: As noted in landscaping above, vegetable/fruit plants (in pots or in the ground) are NOT permitted to be used as or mixed in with landscaping in front and side yards or used as stand-alone decorative plants in pots anywhere in front or side yards. Vegetable/fruit plants MAY be mixed in with landscaping in rear yards. Vegetable plants/fruit plants shall not exceed 6' in height.

Gardens 8 ft. by 10 ft., or less, that are located in rear yard areas as outlined in yellow in the sketches below do not require a **DRA**. Rear yard gardens larger than 8 ft. by 10 ft. must have a landscaping plan and do require a **DRA**. The area of these rear yard gardens shall not exceed 25% of the total landscaped and un-landscaped rear yard area. For example, if the total rear yard area of a home is 200 square ft. and 100 square ft. is occupied by a deck, patio, or porch, the garden may not occupy more than 25 square feet. Use of decorative fencing around the garden is not allowed. Landscaper netting described below is allowed. For edging see "**LANDSCAPING**".

Side yard garden areas MAY be allowed on a case-by-case basis if that location is less visible to view from the street and to neighbors than a rear yard garden. All side yard gardens require a **DRA**. Side yard gardens should be located as far to the rear of the house as possible. If allowed, side yard gardens shall not extend more than 4 ft. outward from the house foundation and be longer than 15 feet. Use of

decorative fencing around the garden is not allowed. For edging see “**LANDSCAPING**”. Landscaper netting described below is allowed.

Garden areas may be protected in the same manner as landscaping. See “**PROTECTION OF LANDSCAPE PLANTS**” above. If horizontal supports or hoops over the top of the garden are to be used, a **DRA** is required. The pictures shown below are illustrative only and do not necessarily represent horizontal supports or hoops that will be approved. Only black or green netting and only black or green supports will be approved.



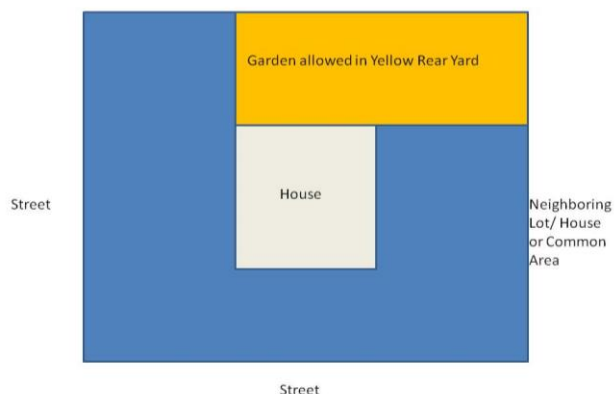
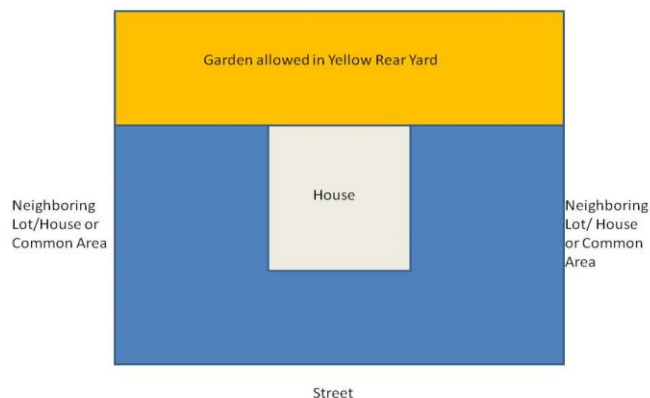
Black PVC hoops and black netting



Green metal hoops and green netting

All gardens, regardless of when they were originally planted, must meet these current guidelines. Garden vegetation should be watered and properly maintained. Dead vegetation must be removed promptly.

NOTE: Installation of a vegetable garden in a Storm Water Drain Easement requires Prince William County (PWC) Environmental services approval. Contact Environmental Services at 703-792-7070. Installation of a vegetable garden in a Sanitary Sewer Easement requires PWC Services Service Authority approval. Contact the Service Authority at 703-335-7950.



WALKWAYS: A **DRA** is not required to seal a walkway or porch with a clear sealant. A **DRA** is required to change an existing walkway or porch, including painting or staining or changing the color of existing paint or stain, or construction of a new walkway or porch. Materials to be used should be compatible with existing materials in the community (e.g., flagstone, brick, pavers, or poured concrete). Long stretches of poured concrete should be avoided, and walkways of wood decking will not be approved. A **DRA** is not required to repaint or stain a walkway or porch the existing color. (See “**CONCRETE SURFACES**”)

WATER BARRELS: A **DRA** is required to install a water barrel. If they are located on the side of the house, they must be buried and located within a landscaped area. Above ground barrels must be located at the rear of the house abutting the rear wall or foundation and be no taller than 4 feet with a diameter no greater than 3 feet. All barrels must be equipped with overflow devices and properly safeguarded against falling in and propagation of mosquitoes and other pests. As noted above, a paver or flagstone landing may be installed under water barrels.

WEATHER VANES: Weather vanes are not permitted on roofs. Weathervanes up to 48 inches tall and 36 inches wide and similar to the picture below are permitted as decorative objects in rear yards only. If they are attached to a post in the rear yard, the post may be no more than 4 feet tall and must be painted black, dark brown, or white. Weathervanes may be attached to deck or unscreened porch railings. If these criteria are met, a **DRA** is not required. Other installations require a **DRA** and MAY be considered on a case-by-case basis.



WEATHER STATIONS: Weather stations similar to those pictured below may be installed in rear yards only. They may be attached to a deck or porch railing or installed on a post. If they are installed on a post, the post may not be taller than 4 ft. and must be painted black, dark brown, or white. If these criteria are met, a **DRA** is not required. Other installations do require a **DRA** and may be considered on a case-by-case basis, but a **DRA** is required.



WINDOWS IN HOUSE / SUNROOM WALLS: The design standard for the community is glass windows with “Colonial” panes (sometimes referred to as grilles or grids) with clear glass as shown in the photos below. Only glass windows may be installed in the walls of homes and sunrooms. Frosted glass and leaded glass are not permitted. New and replacement windows may be of any manufacturer or quality. Glass windows in house or sunroom walls must have clear glass and must match the design of existing windows used in the house or other houses in the community.



- A. A **DRA** is not required to replace/upgrade existing windows in house and sunroom walls, provided the replacement windows have the same exterior appearance as the original windows, include grids/grilles, and are of the same design, i.e. fixed, casement, double or single hung.
- B. A **DRA** is required to add new glass windows in house or sunroom walls. The size of the window trim and frame must match that of the existing windows in the house as closely as possible. All trim details including dividers must be duplicated.
- C. Transoms and side-lite windows associated with main entry doors may have clear glass with grids or they may have decorative glass. See Front/Main Entry doors. Transoms and sidelites associated with other entry doors must have clear glass and grids.
- D. Glass windows used in sunrooms must meet the same requirements as windows used in existing walls of the house.

EXTERIOR WINDOW COVERINGS: see “**STORM WINDOW**”. Exterior window coverings other than storm windows are not permitted.

WINDOW WELLS: Installation of a new window well or modification of an existing window well, including painting of the wall retaining structure or addition of a grill or covering, requires a **DRA**. The color of vinyl window well covers should match the color of the house trim or siding as closely as possible.

APPENDIX I – GOLF COURSE LOTS

GOLF COURSE LOTS (Minimizing the impact of errant golf ball incursion): Owners of property directly adjacent to/or abutting the Golf Course ("Golf Course Lots"), shall submit a Design Review Application to the Architectural Review Committee and obtain prior written approval for the following additions, alterations or improvements to minimize the impact of errant golf ball incursion: Where landscaping or trees will be used, a plan view drawing plan must be submitted with the application that shows the location of all existing plants and trees and all new plants and trees. A list must also be submitted showing the genus, species, and variety of all existing plants and trees, the genus, species, and variety of all proposed new plants and trees, and the height and width of all existing and proposed new plants and trees at maturity.

A. GLASS

The following criteria apply to rear & side windows & doors including transoms of Golf Course Lots:

1. Covering windows, doors and transoms with film is permitted.
2. Exterior Plexiglas or Lexan installed within the existing frame is permitted.
3. The entire window and/or door, including transoms, may be replaced with laminated glass, tempered glass or pressure/impact resistant glazing. Window grids matching existing windows are required.
4. Metal or mesh covers and/or any other type of exterior coverings are not allowed.

B. LANDSCAPING

1. Additional shrubs not over 8' in height at maturity will be allowed on the 2 sides of ground level decks and patios of Golf Course Lots closest to the tee boxes. The requirement for the total landscaping area to not exceed 25% of total rear yard area not occupied by a patio, deck, porch, or sunroom may not be applicable.
2. Additional rear yard trees and greater tree density may be allowed on Golf Course Lots than stated in the topic TREES on the side of the lot facing the tee or the approach shot on the fairway above to aid in blocking the incursion of errant golf balls. Other criteria associated with the planting of trees in the rear yard as stated in the topic TREES above will apply.

C. INSTALLATION OF NET SCREENING

Installation of low visibility screening will be considered on Golf Course Lots, including lots without decks, porches, or patios. A **DRA** is required. On lots with decks, porches, or patios, the proposed screening must meet the following criteria. The applicant must also submit a landscaping plan to mitigate the potential negative visual impact of the screen on the neighborhood area and the golf course.

1. Decks/Porches over 4 feet high:
 - a. Screening can be used on the side of decks and porches facing the golf course and the side of decks and porches that face the tee, or the approach shot on the fairway.
 - b. The screening and its supports shall not exceed more than 8 feet in height above the floor of the deck/porch, and screening is not permitted over the top of a deck.
 - c. Supports for the screening material shall be metal not exceeding 1 inch in any cross section dimension (diameter or any side). Vertical supports shall be attached to the inside of deck/porch rail supports. All metal screening supports (whether on the deck or in the ground) shall be painted with a color to match the deck or porch railing/trim. As outlined above, poles and screening may not extend beyond the side plane of the house and screening material must be pulled tight.
 - d. Under deck/porch areas may be screened. The screening may extend from the ground up to the bottom of the deck/porch floor joists.
 - e. Screening may not be attached to an awning that is extended over a deck.
 - f. Screening material is not permitted within 5 feet of the rear property line.
2. Patios, decks, and porches under 4 feet high:
 - a. Screening can be used on the side of patios, decks, and porches facing the golf course and the side of patios, decks, and porches that faces the tee or the approach shot on the fairway.
 - b. The screening and its supports shall not exceed more than 8 feet in height above the floor of the patio, deck, or porch and screening is not permitted over the top of a patio or deck.
 - c. Supports for the screening material shall be metal not exceeding 1 inch in any cross section dimension (diameter or any side). Poles and screening must be no more than 6 inches from the perimeter of ground level decks or patios. In addition, poles and screening may not extend more than 6 inches beyond the side plane of the house. The screening material must be pulled tight.
 - d. Landscaping will be consistent with the criteria in the topic "LANDSCAPING" above.
3. Any landscaping installed adjacent to/abutting a patio, deck, or porch must be on the outside of the poles & netting.

APPENDIX II – PRINCE WILLIAM COUNTY SETBACK REQUIREMENTS FROM REAR PROPERTY LINES FOR HERITAGE HUNT

PATIOS

| | | |
|-------------------------|---|-------------|
| <u>All Homes</u> | Entire patio flush with the ground | 0' Rear P/L |
| | With any features above grade: railings, planters, sitting walls, etc. patio must comply with deck setbacks. | 5' Rear P/L |
| | If end(s) of patio is/are raised more than 8 inches above the natural level of the turf (i.e. to level on a slope) or to allow/require steps, must comply with deck setbacks. | 5' Rear P/L |

OPEN DECK

| | | |
|-------------------------|--|-------------|
| <u>All Homes</u> | | 5' Rear P/L |
|-------------------------|--|-------------|

PORCH/SUNROOM

| | | |
|-------------------------------|---|-------------|
| <u>Attached Homes*</u> | Abuts a minimum 5 feet of open space. | 7' Rear P/L |
| P/L | Abuts a residential lot. | 10' Rear |
| <u>Detached Homes</u> | Abuts a residential lot | 15' Rear |
| P/L | | |
| P/L | Abuts open space (common area, park land, farm) | 10' Rear |

For side set backs on attached homes, contact Prince William County

APPENDIX III - DESIGN REVIEW APPLICATION HERITAGE HUNT HOMEOWNERS ASSOCIATION

To: Covenants Administrator
Heritage Hunt Homeowners Association
6901 Arthur Hills Drive
Gainesville, VA 20155

From: _____ Attached Villa ____yes ____no
Property Address: _____ Home phone: _____
Mailing Address (if different): _____ Work Phone: _____
Home Model: _____ Cell Phone: _____
Color of House Siding: _____ Color of Trim: _____
Email Address: _____

General:

The Declaration of Covenants requires that you submit to the Architectural Review Committee (ARC) an application for approval for all proposed exterior additions, changes or alterations to your house and lot, except where the Design Guidelines specifically state that a DRA is not required.

The ARC meets on the 2nd and 4th Wednesday of each month except November and December the ARC meets on the 2nd Wednesday of those months only. Design Review Applications are due in the HHHOA office by 12:00 p.m. on the Monday, which is 9 days in advance of the next scheduled ARC meeting. This application must include detailed information describing your proposed change(s). Typically, the information to be attached to the application includes plans and specifications including: side and rear elevations, sketches, photos, catalog illustrations, etc. showing the nature, kind, shape, color, dimensions, and materials to be used along with a copy of the house location survey (recorded plat) with the location of the planned project marked.

An application submitted without all required supporting documentation will be considered incomplete. The ARC's review period will not commence until all required information has been provided. If you have any questions regarding the required information to be included with your application, you should seek guidance from the HHHOA Covenants Administrator located at the Marsh Mansion or a member of the ARC prior to submission of your **Design Review Application**.

Prior to review and approval/disapproval of your application, a member of the ARC will come to your home to review the project with you to ensure that your plans and design are fully understood for presentation to the ARC.

Once your application is approved, there shall be no deviations from the plans, specifications, and location approved by the ARC without prior written consent of the Committee. Any variation from the original application must be resubmitted for approval. It is your responsibility to ensure your contractor abides by the Design Guidelines and the project plan approved by the Committee.

Note: Just because you have seen a specific modification to a home or lot within the community, it does not mean it was approved and that a like plan by you will be automatically approved.

Description of proposed change: (Please print or type)

At the top of the next page, describe all proposed improvements, alterations or changes you plan to make to your lot or home. Provide required details by attaching sketches, drawings, clippings, pictures, catalog illustrations and a copy of your house location survey (recorded plat) with the location of the modification marked to fully describe the proposed change.

Purpose of improvement(s): _____

Contractor's name: _____

Estimated starting date of construction: _____
(After approval by the Architectural Review Committee.)

Estimated completion date: _____

Notification of Neighbors: As a courtesy to your neighbors, you **must** make a good faith effort to notify all lot owners who will routinely see the completed project and make them aware of your proposed change to your home or lot. This requirement applies to major projects such as construction of a patio, deck, porch, or sunroom; installation of a hot tub; installation of trees or a significant amount of landscaping, fences, etc. It does not apply to minor projects that do not change the external appearance of the lot such as concrete replacement, doors, windows, railings, skylights/solar tubes, attic fans, etc. Owners of attached villa living units must notify all owners in their villa complex when re-roofing their unit.

Making neighbors aware of your project does not provide them the opportunity to approve or disapprove your application. Approval or disapproval of applications is the purview of the ARC and/or the Board of Directors. Making neighbors aware of your project provides them the opportunity to know about your proposed project and to appear and speak about your proposed project at an ARC meeting where your application is being reviewed, or to provide a written input to the Covenants Administrator prior to your application being reviewed by the ARC.

Name: _____
Address: _____
Lot: _____
Signature: _____

Name: _____
Address: _____
Lot: _____
Signature: _____

Name: _____
Address: _____
Lot: _____
Signature: _____

Name: _____
Address: _____
Lot: _____
Signature: _____

Check List: Use check marks in the check list below to indicate what supporting documentation has been included with this application.

House Location Survey (recorded plat)

_____ Attach a signed copy of the house location survey (recorded plat) of your property with surveyor's seal showing the location of the proposed project. This is required for all applications that will change the structure / footprint of the house such as addition of a deck, porch, or sunroom. It is also required in the case of adding auxiliary structures or features such as landscaping beds, patios, fences, and drainage systems, addition or revision of walkways, etc. It is not required for applications that do not alter the footprint of the house, such as addition of railings to a front porch or a total roof shingle replacement.

PWC Zoning and Building Permits / Miss Utility

_____ It is the homeowner's responsibility to obtain required zoning and building permits and ensure that all projects meet current PWC codes. Owners should check with Prince William County before planting/building/installing anything within a storm drainage, sanitary sewer, or access easement shown on their plat. Applicants that will plant/build/install in an easement must attach a copy of the PWC approval to this application. Applicants who plan

to install an above ground fence or a patio must attach a copy of the PWC Zoning approval to this application. It is also the homeowner's responsibility to notify Miss Utility (811) prior to doing any kind of excavation (digging).

Porches/Decks/Sunrooms

- _____ **Drawings:** At a minimum, required drawings shall include: 1) a plan view drawing which shows the location and shape of the deck/porch/sunroom and shows the planned setback from the rear property line. 2) Side and rear elevation drawings of the screened porch/deck/sunroom being attached to the existing home. 3) Stair details to include whether the stair will be open or closed. 4) Railing details to include the size and shape of pickets. These drawings do not need to be professionally done, but must be to scale showing dimensions. Pictures of similar projects may also be submitted as examples. This collection of drawings and documentation should be sufficient for the ARC to visualize what the project will look like upon completion.
- _____ **Deck / Porch Colors:** All vertical exterior surfaces of decks and porches below the soffit, including pickets and rails, are required to be white or painted/stained the color of the house trim. The color to be used must be stated on the application. Walking surfaces can remain natural wood color or be composite material. The color of walking surfaces must be stated on the application. For porches, rakes, fascia, soffits, and gutters are to match those existing on the house. Downspouts may be white if the porch trim is white.
- _____ **Under Deck/Porch/Sunroom Areas:** If lattice or siding will be used to screen the area under a deck/porch/sunroom, it must be stated on the application. Siding must match the house siding. For decks and porches, the lattice and frame must be the same color as all other vertical surfaces. For sunrooms, the lattice and frame must be the same color as the house trim. If rock/stone or some other material will be used under the deck/porch/sunroom, it must be noted on the application. If landscaping will be used to screen the area under a deck/porch/sunroom, a detailed landscaping plan must be included in the application. (See landscaping below.)
- _____ **Sunroom Siding:** The siding used on sunrooms must match that which is currently installed on the home in style and color. All windows must match the windows installed in the home in style and color.
- _____ **Materials:** Ensure that all materials that will be visible from the exterior are specified and where feasible, provide samples or pamphlets for items such as shingles, siding, screens, gutters and downspouts, doors, windows, etc. Make sure they will match the home in style. State on the application what color will be used.
- _____ **Roof Overhang (Eave):** A 1 foot overhang is required on all exposed sides, except where PWC code prohibits an overhang. The overhang must be shown on one of the drawings.
- _____ **Roof Tie-in:** For porches or sunrooms, include a picture/drawing showing how the new roof will be tied into the existing roof.
- _____ **Roof Pitch / Color:** Roof pitch on porches and sunrooms must be compatible with that of the existing roof. Note the pitch of the existing roof and the planned pitch of the porch/sunroom roof on the drawings submitted. Shingles used on the new porch/sunroom shall match those currently installed on the house as close as possible.
- _____ **Doors, Windows, and Stairs:** Include drawings, pamphlets, or photographs that clearly describe the style, dimensions, and color of doors, windows and stairs.
- _____ **Deck Height:** At least one drawing should show the height of the walking surface above the ground.
- _____ **Drainage from downspouts:** Describe how drainage from the porch or sunroom downspouts will be controlled.
- _____ **Railings:** Include in the application drawings, pamphlets, or photos that clearly describe all aspects of the railing to be used. Include the height of the rail; color and material of rail; size, style, material and spacing of pickets; color and material of rail posts and post caps.
- _____ **Electrical Devices:** Note the location and type of all electrical devices to be used to include stair lighting, eave lights, fans (with/without lights), electrical plugs, etc.

Patios

- _____ Provide a plan view drawing showing the location, shape, dimensions and distance to the rear property line.
- _____ Provide a listing of all materials and the colors of materials that will be visible upon project completion.
- _____ Describe how rainwater run-off from the patio will be controlled.

Fences

- _____ Indicate the planned location of the fence on the house location survey (recorded plat).
- _____ Locate and mark the survey lot pins or have a survey done to locate the corners of the lot.
- _____ State on the application the type of materials to be used in the fence and gate(s).
- _____ Provide a drawing, pamphlet, or photo showing the style of fence and gates to be used.
- _____ State the size, style, and spacing of pickets on the application.
- _____ Note the location of fence gates, hardware color, and direction the gate will swing.

Landscaping

- _____ Provide a plan view drawing showing the location, shape, and dimensions of planting beds, walkways, paving stones, and lights. Indicate the location and width of new plants at maturity and the location and width of existing plants at maturity.
- _____ Provide a listing of all plants to be planted, including genus, species and variety. On the list of plants, indicate the height and width (spread/drip line) of plants at maturity.
- _____ Define the materials/color of any edging, ground cover (mulch, gravel, stone), stone or masonry landscape structures, or retaining walls to be used.

Other Projects

- _____ For all other projects not listed above, provide a complete description of the planned project, color, size, location, materials, etc.

Owners' Acknowledgments:

By signing below, I/we understand and agree:

1. That approval by the ARC shall in no way be construed as passing judgment on the correctness of the location, structural design, and suitability of water flow or drainage, location of utilities, zoning land code compliance or other qualities of the proposed change being reviewed.
2. That approval of any particular plans and specifications or design shall not be construed as a waiver of the right of the ARC to disapprove such plans and specifications, or any elements or features thereof, in the event such plans are subsequently submitted for use in any other instance.
3. That no work on the proposed change shall begin until written approval of the ARC has been received by me; that, if work is begun prior to approval, I may be required to return the property to its former condition at my own expense if this application is disapproved wholly or in part and I may be required to pay all legal expenses incurred.
4. That there shall be no deviations from the plans, specifications, and location approved by the ARC without prior written consent of the ARC. Any variation from the original application must be resubmitted for approval.
5. That I authorize members of the ARC or the Covenants Administrator to enter upon my property to make one or more routine inspection(s) as work is being done or after the project is completed.
6. That construction or alterations in accordance with the approved plans and specifications must be completed within 6 months of the approved date, otherwise the approval by the ARC shall be deemed conclusively to have lapsed and to have been withdrawn.
7. That it is my responsibility and obligation to obtain all required zoning and building permits, to contact *Miss Utility*, and to construct the improvements in a workmanlike manner in conformance with all applicable building and zoning codes.
8. That I am responsible for any damage and all cost to repair green space or community property that result from the proposed modification.
9. That I have read the currently effective Design Guidelines and I have included the required information and documentation with this Design Review Application.

Owner/Applicant Signature _____ **Date** _____

Co-Owner/Applicant Signature _____ **Date** _____

Submit completed Design Review Applications at the Main Clubhouse front desk or the HOA offices at the Marsh Mansion.

APPENDIX IV - PRINCE WILLIAM COUNTY GUARDRAIL REQUIREMENTS

R312.1 Where required. *Guards* shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or *grade* below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a *guard*.

R312.2 Height. Required *guards* at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.

Exceptions:

1. *Guards* on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
2. Where the top of the *guard* also serves as a handrail on the open sides of stairs, the top of the *guard* shall not be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.

R312.3 Opening limitations. Required *guards* shall not have openings from the walking surface to the required *guard* height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a *guard*, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
2. *Guards* on the open sides of stairs shall not have openings which allow passage of a sphere $4\frac{3}{8}$ inches (111 mm) in diameter.

David Lee

PWC Construction Plans reviewer

703-792-6939

dlee@pwcgov.org

APPENDIX V - GROUND COVERS

This is a list of the most common ground covers. They can invade into turf areas if not controlled. Consult the web for pictures and additional info.

| Name (Genus) | Common Name |
|------------------------------|--------------------|
| Hedera Helix | English Ivy |
| Turella Cordifolia | Foam Flower |
| Ajuga Reptan (Var) | Bugle Weed |
| Lysmachia Nummularia 'Aurea' | Golden Moneywort |
| Pachysandra Terminalis | Japanese Spurge |
| Convallaria Majalis | Lily of the Valley |
| Polygonatum | Solomon Seal |
| Houttuynia Cordata | Cameleon Plant |
| Aegopodium | Bishop's Weed |

APPENDIX VI - HEDGE AND SCREENING PLANTS

This is a list of plants that are recommended for use in hedges and for screening of storage under decks, porches, and sunrooms. They may be used elsewhere also. Consult the web for pictures and additional info.

| Name (Genus) | Species / Variety | Mature unpruned height | Mature unpruned width |
|---------------------------|--|------------------------|-----------------------|
| Buxus Microphylla Koreana | Boxwood "Fastigiata", "Graham Blahdy", "Green Gem", "Winter Gem" | 3' – 6' | 3'-4' |
| Cotoneaster Lucidus | Hedge Cotoneaster | 6' – 10' | 6'-10' |
| Ilex Crenata | Japanese Holly "Compacta" | 4' – 6' | 1'-3' |
| Ilex Glabra | Inkberry "Nigra" or "Nordic" | 3' – 4' | 1'-3' |
| Ilex Meserve | Meserve Holly "Blue Princess" or "Blue Prince" | 4' – 10' | 3'-4' |
| Ligustrum Ovalifolium | California Privet | 10' – 15' | 10'--15' |
| Evonymus Alatus | Winged Euonymus "Rudy Haag" | 5' – 6' | 5'-6' |
| Euonymus Kiautschovicus | Spreading Euonymus | 8' – 10' | 3'-5' |
| Taxus Baccata | English Yew "Fastigata" | 15' plus | 7'+ |
| Taxus Media | Japanese Yew "Hatfield" or "Hicksii" | 15' plus | 4'-6' |
| Thuja Occidentalis | Arborvitae "Emerald" | 15' plus | 10'+ |
| Prunus Laurocerasus | "Schipkaenensis" or "Nana" or "Ottoluyken" | 5' – 15' | 6'-8' |

APPENDIX VII - FLOWERING SHRUBS

This is a list of suggested flowering shrubs for planting adjacent to house foundations. They may be used elsewhere also. Consult the web for pictures and additional info.

| Name (Genus) | Species / Variety | Mature unpruned height | Mature unpruned width |
|--------------------------|---|------------------------|-----------------------|
| Abelia Graniflora | Glossy Abelia "Prostrata", "Raspberry Profusion" | 3' -5' | 3'-6' |
| Buddleia | Butterfly Bush "Buzz", "Ivory", "Lavender", "Violet", and "Magenta" | 4' – 8' | 2'-3' |
| Callicarpa Dichcotoma | Purple Beautyberry | 3' – 4' | 3'-5' |
| Caryopteris Clandonensis | "Longwood Blue", "Blue Knight", "Kew Blue" | 2' – 4' | 1.5'-2' |
| Clethra Alinifolia | Summersweet Clethra "Hummingbird", "Pink Spires" | 3' – 7' | 3'-5' |
| Cornus Sericea | Rododier Dogwood "Silver & Gold" | 3' – 6' | 8'-12' |

APPENDIX VII - FLOWERING SHRUBS (Continued)

| Name (Genus) | Species / Variety | Mature unpruned height | Mature unpruned width |
|----------------------------------|---|------------------------|-----------------------|
| Cytisus Scopioides | Scotch Broom "Burkwoodii" "Lena" | 3' – 5' | 3'-5' |
| Deutzia Gracilis | Slender Deutzia "Nikko" | 1.5 – 2' | 2'-5' |
| Enkianthus Campanulatus | Redvein Enkianthus | 6' – 8' | 4'-6' |
| Erica Carnea | Spring Heath var | 1' – 2' | 1'-2' |
| Pothergilla Gardenii | Dwarf Fotherfilla "Blue Mist" | 2' – 3' | 2'-4' |
| Hydrangea Arborescens | Smooth Hydrangea "Annabelle" | 3'-5' | 3'-5' |
| Hydrangea Macrophylla | Big Leaf Hydrangea "All Summer Beauty", "Endless Summer", "Endless Summer Twist & Shout", "Glowing Embers", and "Pia" | 2.5' – 6' | 4'-6' |
| Hydrangea Paniculata Grandiflora | Pee Gee Hydrangea "Limelight", First Editions Vanilla Strawberry" | 5' – 8' | 5'-8' |
| Hydrangea Quercifolia | Oakleaf Hydrangea "Show Queen" | 3'-8' | 3'-8' |
| Hypericum Frondosum | St. Johns Wort "Sunburst" | 3' | 3' |
| Hypericum Androsaemum | "Aubrey Purple" | 2' – 3' | 2'-3' |
| Ilex Verticillata | Winterberry "Bonfire", "Sparkleberry" | 4' – 8' | 4'-8' |
| Kerria Japonica | Japanese Kerria "Picta" | 4' – 5' | 4'-5' |
| Leucothoe Axillaris | Coastal Leucothoe | 2' – 4' | 3'-5' |
| Leucothoe Fontanesiana | Drooping Leucothoe "Gerard's Rainbow", "Nana", and "Scarletta" | 2' – 4' | 2'-4' |
| Pieris Floribunda | Mouhatah Pieris "Browers Beauty" | 2' – 6' | 3'-5' |
| Pieris Japonica | Japanese Andromeda "Mountain Fire" | 6' – 10' | 3'-6' |
| Potentilla Fruticosa | Cinquefoil "Katherine Dykes" | 1.5' – 4' | 3'-5' |
| Rhododendron Carolinianum | Carolina Rhodo "PJM" | 3' – 6' | 3'-6' |
| Rhododendron mucronulatum | Korean Azalea "Cornell Pink" | 3' – 7' | 4'-7' |
| Rosa | Rose varieties: "Blushing Knockout", "Coral Drift", Double Knockout Radko", "Knockout Radrizz", "Rainbow Knockout Radcor", "Sunny Knockout Radsunny" | 1.5' – 4' | 2' – 4' |
| Syringa Meyerii Palibin | Lilac | 4' – 5' | 5'-7' |
| Viburnum | Varieties: "Charlesii", "Koreanspice", "Burkwoodii", "Mowhawk", "Plicatum Tomentosum", "Mariesi", "Double File", "Rhytidophylloides – Allegheny" | 3.5' – 12' | 4' -7' |
| Weigelia Florida | Cardinal Shrub "Wine & Roses", "Minuet" | 3' -5' | 5'- 8' |

APPENDIX VIII – TREES

This is a list of suggested trees for planting in areas away from the house foundation and decks, porches, and sunrooms. The maximum height of trees allowed in front and side yards is 20-30 feet and rear yards 30-40 feet. Consult the web for pictures and additional information.

| Name (Genus) | Species / Variety | Mature un-pruned height & width |
|------------------------|------------------------|---------------------------------|
| Aesculus Pavia | Red Buckeye | 15' – 20' |
| Amelanchier Canadensis | Shadblow | 10' – 20' |
| Arelia Elata | Japanese Angelica Tree | 20' – 30' |

APPENDIX VIII - TREES (Continued)

| Name (Genus) | Species / Variety | Mature un-pruned height & width |
|--------------------------|--|---------------------------------|
| Betula Nigra | River Birch "Little King" | 10' – 12' |
| Betula Pendula-'Youngii' | Weeping White Birch | 15' – 20' |
| Camellia Japonica | (var) Camellia | 10' – 15' |
| Cercis Canadensis | Redbud "Forest Pansy" | 15' – 25' |
| Cercis Chinensis | "Avondale" | 10' – 15' |
| Chioanthus Virginicus | "White Fringe Tree" | 12' -20' |
| Cornus Florida | Flowering Dogwood | 20' – 30' |
| Cornus Kousa | Japanese Dogwood (Rutgers Hybrid) | 20' – 30' |
| Cotinus Obovatus | (var) American Smoke Tree | 20' – 30' |
| Cotinus Coggygria | (var) Common Smoke Tree | 10' – 15' |
| Hammamelis Intermedia | Witchhazel | 10' – 20' |
| Laburnum Wateri | (var) Goldenchain | 15' – 20' |
| Magnolia Loebneri | Loebner Magnolia (Merrill) | 20' -25' |
| Magnolia Stellata | Star Magnolia | 15' – 20' |
| Magnolia Virginiana | Sweetbay Magnolia | 10' -20' |
| Lagerstroemia | Crepe Myrtle "Chicksaw" (There are other varieties that are smaller and some that are larger.) | 20' – 25' |
| Malus Sargentii | (var) Sargent Crabapple | 5' – 10' |
| Malus Cultivars | 'Amberinia' "Christmas Holly" | 8' – 15' |
| Oxydendron Arboreum | Sourwood | 25' – 30' |
| Prunus Incam 'Okame' | Okame Cherry | 20' -30' |
| Prunus Subhirtella | High Cherry (Autumnalis) | 15' – 25' |
| Stewartia Koreana | Korean Stewartia | 20' – 30' |
| Syringa Reticulata | Japanese Lilac Tree | 15' – 25' |
| Vitex Angus – Castus | Chaste Tree | 6' – 10' |

APPENDIX IX – NOTICE TO OWNERS OF ATTACHED HOMES

Roofers have been consulted regarding replacing only part of a shared/common roof on a shared/common roof unit and not replacing the rest of the roof. Some say that the roofs may be effectively laced together and others say they cannot be effectively laced together and that leakage can be expected to occur at the place where the roofs are laced together. Therefore, owners who re-roof should be aware that non-participating owners may claim that their re-roofing caused a leak in their Unit.

Albeit that Article 9 of the Declaration may have limited application in certain situations, especially if a party wall is damaged, the Association is not involved or responsible for any damage or liability sustained and this matter must be solely addressed by and amongst the Owners of the attached units with the shared roof. Likewise the Association is not responsible for addressing or resolving any dispute between the Owners in these situations.

Owners and Residents should fully understand any warranties provided by their roofer and it is suggested that any warranty proffered or provided by a roofer or roofing company should be in writing.

Statement to be signed by Non-Participating Owners of Attached Units with Shared Roofs:

On this date _____, I / We _____ have been notified by the Heritage Hunt Homeowners Association Covenants Administrator that the owner of the dwelling unit located at _____ plans to re-shingle his/her home.

I acknowledge I have been informed that the owner of the dwelling unit at _____ will use _____ brand shingles in the [3-tab design] [architectural design] in the color _____.

I do not wish to re-roof my dwelling unit at this time. Therefore, I hereby acknowledge that at the time I do re-shingle my dwelling unit located at _____, I will be required to submit a Design Review Application for approval by the Architectural Review Committee.

I also hereby acknowledge that I will be required to use shingles of the same manufacture, design, and color as those used by the owner of _____ if they are available. If such shingles are not available, I will be required to use shingles that match the design and color of the shingles used by _____ as closely as possible.

I also hereby acknowledge that I have been warned of the risk of leakage occurring at the “property line” between my dwelling unit and the dwelling unit located at _____.

[illegible]